

V I L L A G E O F K E Y B I S C A Y N E

Office of the Village Manager

Village Council
Franklin H. Caplan, *Mayor*
Mayra P. Lindsay, *Vice Mayor*
Michael W. Davey
Theodore J. Holloway
Michael E. Kelly
Ed London
James S. Taintor

DATE: February 11, 2014
TO: Honorable Mayor and Members of the Village Council
FROM: John C. Gilbert, Village Manager
RE: Site Plan Review: 12-22-24 Crandon Boulevard and 51 Harbor Drive

Village Manager
John C. Gilbert

RECOMMENDATION

It is recommended that the Village Council accept the attached Building, Zoning and Planning (BZP) Director's recommendations for the Site Plan application of a Multi-Tenant Shopping Center with access from the adjacent property at 51 Harbor Drive and a Multi-Tenant Sign Program at 12-22-24 Crandon Boulevard.

BACKGROUND

- **Site Plan Review:** The Applicant has filed an application for Site Plan approval for a Multi-Tenant Shopping Center at 12-22-24 Crandon Boulevard with access from the adjacent property at 51 Harbor Drive.

The Applicant desires to construct a Multi-Tenant Shopping Center that contains two (2) stores: (1) a 10,000 sq. ft. Market/Pharmacy with a 2,628 sq. ft. mezzanine whose use is limited to storage; and (2) a 1,930 sq. ft. Package (Liquor) Store. The site contains 8,971 sq. ft. of vacant land which is labeled "Future Stand Alone Building (not part of Site Plan)". When this vacant land is developed, it will be subject to a public hearing pursuant to the Village's Site Plan Review Procedures.

- **Multi-Tenant Shopping Center Sign Program:** As part of the application for Site Plan Review, the Applicant has included a sign program.

The BZP Director has compared the application with the criteria and found that the request is consistent with the review criteria subject to the conditions set forth in the attached Memorandum dated, December 3, 2013.

- **Traffic Study:** During the December 3, 2013 meeting, the Council deferred consideration of the applications for Site Plan Review and Conditional Use as they felt there was a need for further traffic analysis. Subsequently, the services of Miles

Moss and Associates, Inc. were retained to perform this work. Their "Traffic Generation, Distribution, Operation and Safety Study" is attached to this Memorandum.

Based on the findings and conclusions of the Miles Moss and Associates, Inc. Study, the BZP Director has supplemented his Site Plan Review December 3, 2013 Report to Council. The supplemental Site Plan Review Report from the BZP Director states the project is not consistent with the Site Plan Review Criteria 3-A and 3-D. The Miles Moss and Associates Study details the current "hazardous" conditions at 51 Harbor Drive will become "substantially worse" if Harbor Drive provides ingress and egress to the proposed Walgreens site at 12-22-24 Crandon Boulevard.

The BZP Director's analysis of the remaining criteria remains as originally submitted in the December 3, 2013 report.



V I L L A G E O F K E Y B I S C A Y N E

Department of Building, Zoning and Planning

Village Council
Franklin H. Caplan, *Mayor*
Michael W. Davey, *Vice Mayor*
Theodore J. Holloway
Michael E. Kelly
Mayra P. Lindsay
Ed London
James S. Taintor

DT: February 11, 2014
TO: John C. Gilbert, Village Manager
FR: Jud Kurlancheek, AICP, Director
Building, Zoning, and Planning Department
RE: Supplemental Site Plan Review Report and
Recommendation: 12-22-24 Crandon Boulevard and 51
Harbor Drive

Director
Jud Kurlancheek, AICP
Chief Building Official
Eugenio M. Santiago, P.E., CFM

Application

The applicant has filed an application for Site Plan approval for a multi-tenant shopping center at 12-22-24 Crandon Boulevard with access from the adjacent property at 51 Harbor Drive. The applicant desires to construct a multi-tenant shopping center that contains two (2) stores: a 10,000 sq. ft. market/pharmacy with 2,628 sq. ft. mezzanine whose use is limited to storage and a 1,930 sq. ft. package (liquor) store. The site contains 8,971 sq. ft. of vacant land which is labeled "Future Stand Alone Building (not part of site Plan)". When this land is developed, it will be subject to a public hearing pursuant to the Village's Site Plan Review procedures. As part of the application for Site Plan Review, the applicant has included a sign program. The sign program is evaluated under a separate memorandum (December 3, 2014) from the BZP Director.

Analysis

During the December 3, 2013 meeting, the Council deferred consideration of the applications for Site Plan Review and Conditional Use as they felt there was a need for further traffic analysis. Subsequently, the services of Miles Moss and Associates, Inc. were retained to perform this work. Their "Traffic Generation, Distribution, Operation and Safety Study" is attached to this memorandum.

This memorandum supplements my December 3, 2013 report and recommendations based upon the findings and conclusions as set forth in the Moss Study. My December 3, 2013 memorandum included a statement that the findings and conclusions were based upon the best available data as set forth in the Atkins Study and that such findings and conclusions were subject to change if a specialized Trip Generation Study presented different conclusions. The Atkins Study recommended that a specialized Trip Generation Study be prepared and that was included in the Moss Study. The Moss Study also further analyzed the safety and operational issues identified in the Atkins Study.

The following is an analysis of Site Plan Review Criteria 3-A and 3-D based upon the findings and conclusions as presented in the Atkins and Moss Studies. The analysis presented in my December 3, 2013 report for Criteria 3 B, C, E and F remain as originally submitted.

Criteria 3 Circulation and Parking

Criteria 3-A

A clearly defined vehicular circulation system shall be provided which allows free movement within the proposed development while discouraging excessive speeds. Said systems shall be separated insofar as practicable from pedestrian circulation systems. Pavement widths and access points to peripheral streets shall be provided which adequately serve the proposed development and which are compatible and functional with circulation systems outside the development.

Analysis

There are four (4) ingress and egress locations to access the property. Two are located on Crandon Boulevard. The first is a one way "in" driveway at the north end of the site. The second one is located in the middle of the property and it will function as the primary access to the property from Crandon Boulevard as it leads directly to a parking lot and entrances to the building. A third way to enter the property is from the driveway at 51 Harbor Drive leading to the property at 12-22-24 Crandon Boulevard. The applicant has filed a cross-access agreement which permits this circulation pattern to occur. The fourth is an alley located on the west side of the Harbor Plaza property. This alley provides access for service vehicles and leads to the proposed development. The circulation system provides for the movement of vehicles to travel around the development site and through to the Harbor Plaza property.

The Village contracted with two different traffic engineers to determine the impact that the proposed project will have on vehicular and pedestrian traffic on and off the site. These engineers were Atkins North America and Miles Moss and Associates Inc. The Atkins Study provided traffic counts and trip generation rates based on the Institute for Traffic Engineers (ITE) standard formulas that are used throughout the country and provided conclusions regarding the movement of traffic on and off the site.

The Moss Study further examined Atkins's conclusions and conducted a study of the conditions at CVS at 700-726 Crandon Boulevard and an analysis of the safety and operational aspects of the site. Chapter 4 of the Trip Generation handbook provides for a local jurisdiction to conduct its own trip generation rate to validate the equations and used by ITE. This work was performed by Moss.

The Atkins Study determined that:

“based on observations there are a lot of driveways within close proximity and a large volume of traffic utilizing Harbor Drive to access Harbor Plaza. The exit and entrance to Harbor Plaza has existing safety and operational issues. The exit from Harbor Plaza and entrance are counter intuitive to traffic patterns. Typically there is an entrance access before the exit and the driveways are only 20 ft. apart. Also, you have an eastbound left turn to enter Harbor Plaza and an exit from the Oasis parking lot into the exit for Harbor Plaza. When vehicles back out from a parking (space) this blocks through traffic from being able to enter Harbor Plaza creating a spillback onto Harbor Drive and not allowing vehicles to be able to exit as well”.

Atkins observed there were changes to the median in front of and slightly west of Harbor Plaza. These changes occurred approximately 13 years ago and were designed to facilitate the movement of traffic on Harbor Drive to Crandon Boulevard during the peak morning times. The Atkins Study determined that there are operational and safety issues that exist today an additional analysis was needed. As noted above, the Moss prepared this additional analysis.

The Moss Study determined that the existing conditions at the Harbor Plaza at the public sidewalk along Harbor Drive, the ingress and egress drives and within the parking lot are currently “hazardous”. They quantified this finding with accident reports and a significant increase in daily trips of 2,278 and at 100 trips at the peak morning hour and 185 trips the peak evening hour. They also concluded that 36% of all accidents within the routes used to the proposed development occur within the Harbor Drive parking lot and that 50% of all traffic going to the proposed development will be using this parking lot. They determined that the “hazardous” conditions will become “substantially worse” if this property is used for ingress and egress for the proposed development. The Moss Study also determined that additional traffic accidents, injuries or fatalities are likely.

The findings from Moss and Atkins, when taken together, clearly indicate that the existing configuration and design of the Harbor Plaza site is “hazardous” and does not provide for safe movement of vehicles, bicycles and pedestrians. In order to be consistent with this criteria, the Harbor Plaza site including ingress and egress and turning movements from Harbor Drive would have to be redesigned.

Based upon the forgoing, I have determined that ingress and egress from Harbor Drive through the Harbor Plaza property to the proposed market/pharmacy is not consistent with Criteria 3-A which deals with circulation and parking. The Moss Study determined that the current “hazardous”

conditions at Harbor Plaza will become “substantially worse” if Harbor Drive provides ingress and egress to the proposed development site.

In order to discourage excess speeds and provide for the protection of residents walking on the sidewalk, speed bumps and stop signs should be provided at the ingress and egress locations.

Finding Not consistent

Criteria 3-D

Safe and efficient access to all areas of the proposed development shall be provided for emergency and service vehicles, as required by Chapter 52.11 of the Florida Building Code.

Analysis

Emergency vehicles can enter the property from two locations along Crandon Boulevard. There is access to the property from Harbor Drive through a parking lot and then into the site. However, based upon the Moss Study which characterized the existing conditions as being “hazardous” if ingress and egress are provided through the Harbor Plaza property the existing conditions will become “substantially worse”. As such, emergency vehicles entering and leaving the Harbor Plaza property will not have safe and/or efficient access to all areas of the site.

The Site Plan provides for three locations for service vehicles to enter the property. The first is an alley located along the western and north sides of the Harbor Plaza property that leads to the proposed development. This alley along the west is difficult to negotiate as stores have dumpsters and other equipment. At the rear of the property, the alley contains parking spaces and dumpsters which also make it difficult for service vehicles to use. In recognition of these difficult circumstances, for many years, service vehicles would park at the proposed development and deliver their goods to stores at the Harbor Plaza property.

Service vehicles can conveniently enter the proposed development from a one way alley at the north side from Crandon Boulevard and at an ingress/egress point in the center of this property from Crandon Boulevard.

Based upon the foregoing analysis, I have determined that there is not safe and efficient access for emergency and service vehicles through the Harbor Plaza property.

Finding: Not consistent

RECOMMENDATION

Staff recommends approval of the site plan subject to the following conditions:

1. Prior to the demolition of the property, the Village will be given an opportunity to remove the trees that will not be kept on the property and plant them within the Village;
2. The eight (8) ft. high chain link fence along the north property line adjacent to Calusa Park shall be replaced with a six (6) ft. high black vinyl coated chain link fence;
3. The site plan shall be amended to show that all water (runoff) is contained on the site. The grass area in front of the entrance to the market/pharmacy shall be finished in concrete and the entire entrance area shall be designed as a plaza to enhance the entrance. The design shall be approved by the Building, Zoning, and Planning Director;
4. The proposed 5 ft. pedestrian sidewalk in the parking lot shall be concrete and clearly marked and signed as a sidewalk. Speed bumps shall be approved by the Building, Zoning, and Planning Director and located at the entrance and exit from the driveway to Crandon Boulevard and along the north driveway. The stop sign shall be placed on the exit at a location determined by the Building, Zoning, and Planning Director;
5. All glass shall be clear. The merchandising cabinets adjacent to the windows shall be no higher than the window sill. Merchandise may be displayed on top of the cabinets but not stacked upon one another. No machine or equipment shall be placed inside the store which blocks views into the store;
6. The first letter of the signs shall be capitals with the remaining letters in each sign small case. The maximum height of the letters shall not exceed 14 inches for the market/pharmacy and liquor store signs. (See Building, Zoning and Planning Director's December 3, 2013 for an analysis of the sign program);
7. There is a proposed fire hydrant at the northeast portion of the site. Fire Department Staff have commented that the hydrant should be relocated to the entrance to Walgreens with a second hydrant at the south side of the property labeled "Future Stand Alone Building";
8. Access from the Harbor Plaza property to the proposed development shall be prohibited. In order to prevent access the following shall be provided:
 - a. a three (3) ft. CBS wall at the along the rear property line from Calusa Park to the Harbor Plaza Building;

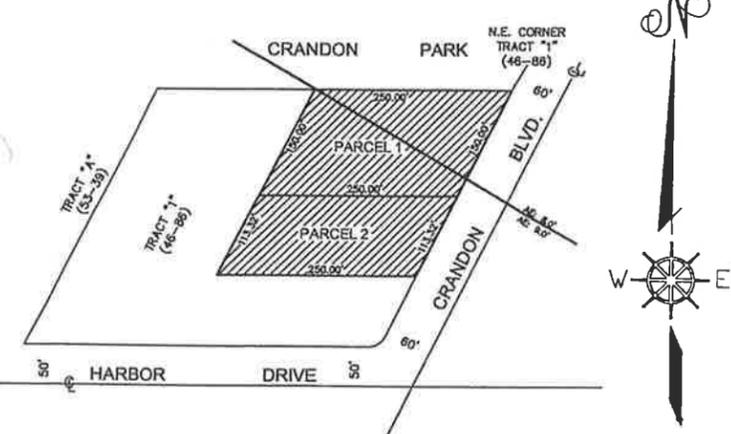
- b. a three (3) ft. CBS wall located at the common property line at the proposed cross-access area;
 - c. a 6 ft. black vinyl coated chain link fence from the cross-access area along the common property line to the sidewalk at Harbor Drive.
9. Fully comply with all subdivision regulations prior to the issuance of a principle permit to construct the building



 **Morgan**
PROPERTY GROUP


ANGEL C. SAQUI, FAIA
ARCHITECTS PLANNERS INTERIORS, LTD.

LOCATION MAP SCALE: 1"=100'



LEGAL DESCRIPTIONS:

PARCEL 1:

That part of Tract 1, of Subdivision of a portion of **MATHESON ESTATE**, according to the Plat thereof, recorded in Plat Book 46, at Page 86 of the Public Records of Dade County, Florida, described as follows:

Beginning at the Northeast corner of Tract 1, run Southwesterly along the Easterly line of said Tract 1 a distance of 150 feet to a point; thence run West parallel to the North line of said Tract 1, a distance of 250 feet to a point; thence run Northeast parallel to the Easterly line of said Tract 1 a distance of 150 feet to a point on the North line of said Tract 1, thence run East along the North line of said Tract 1, a distance of 250 feet to the Point of Beginning.

PROPERTY ADDRESS: 12 CRANDON BOULEVARD. Key Biscayne, Florida. 33139

AND

PARCEL 2:

A portion of Tract 1, Subdivision of a portion of **MATHESON ESTATE**, according to the Plat thereof, as recorded in Plat Book 46, at Page 86 of the Public Records of Dade County, Florida, described as follows:

Commencing at the Northeast corner of said Tract 1, thence run Southwesterly along the Easterly line of said Tract 1, a distance of 150 feet to the point of beginning of the parcel of land hereinafter to be described; thence run Southwesterly along the Easterly line of said Tract 1, a distance of 113.32 feet to a point; thence run West parallel to the North line of said Tract 1, a distance of 250 feet to a Point; thence run Northeast parallel to the Easterly line of Tract 1, a distance of 113.32 feet to a point; thence run East parallel to the North line of Tract 1, a distance of 250 feet to the Point of Beginning.

PROPERTY ADDRESS: 22-24 CRANDON BOULEVARD. Key Biscayne, Florida. 33139

LEGEND:

- F.N. = FOUND NAIL
- S.I.P. = SET IRON PIPE
- L.F.E. = LOWEST FLOOR ELEVATION
- (R) = RECORD
- (M) = MEASURED
- E— = WOOD POLE WITH OVERHEAD ELECTRIC LINE
- ▨ = CONCRETE AREAS
- ▩ = PAVED AREAS
- = 8' HIGH METAL FENCE
- X— = CHAIN LINK FENCE
- EM = ELECTRIC METER
- ▣ = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- ⊗ = WATER METER
- ⊕ = SANITARY SEWER MANHOLE
- ☼ = CONC. LIGHT POLE
- ☎ = PHONE BOOTH
- C/O = CLEAN OUT
- = CENTER LINE

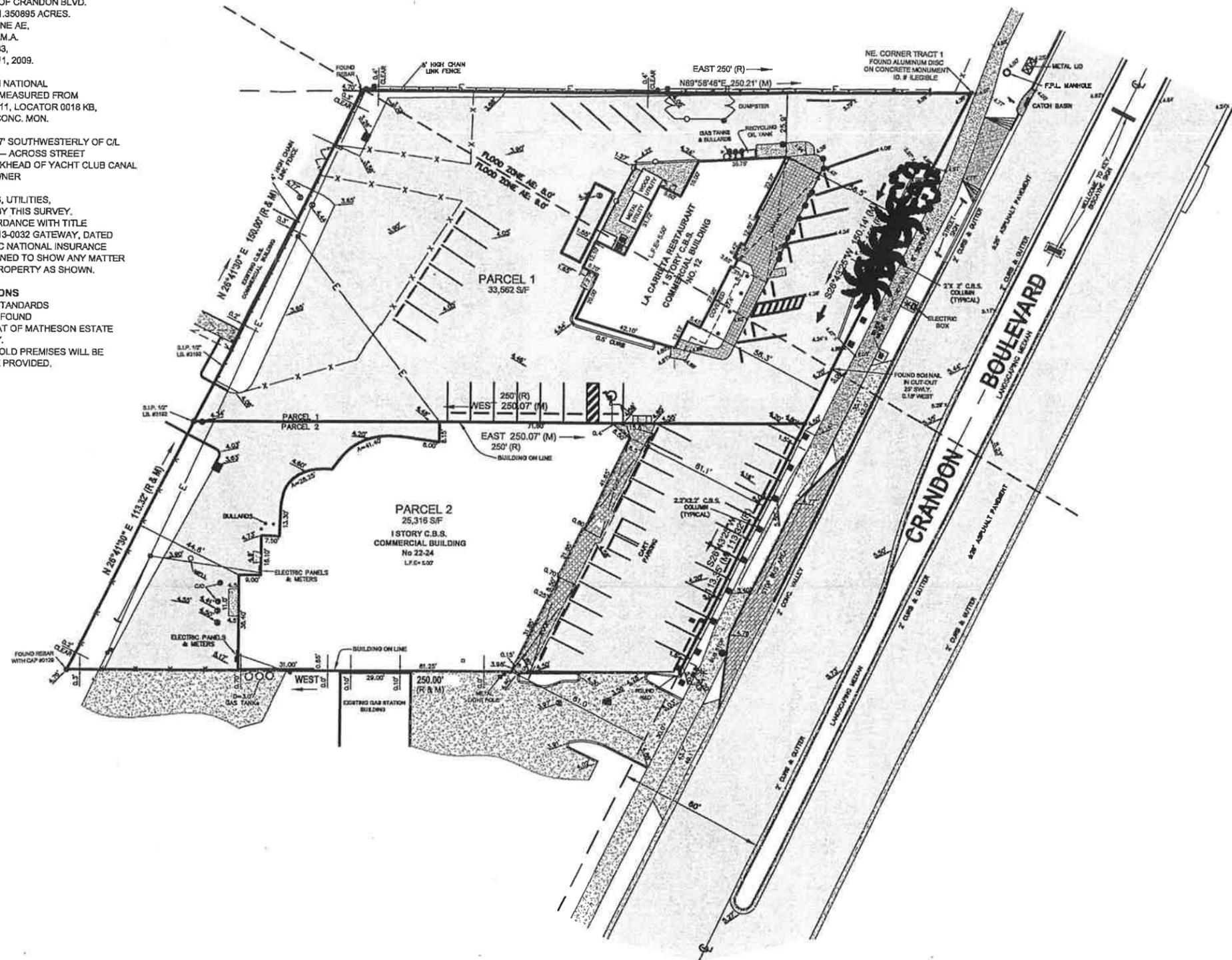
SURVEYOR'S NOTES:

- 1- TYPE OF SURVEY: BOUNDARY & ELEVATIONS
- 2- BEARINGS & DISTANCES SHOWN ARE IN SUBSTANTIAL COMPLIANCE WITH THOSE RECORDED UNLESS OTHERWISE NOTED.
- 3- BEARINGS ARE BASED ON AN ASSUMED VALUE OF S 26°41'30" W ALONG THE WEST R/W LINE OF CRANDON BLVD.
- 4- PROPERTY AREA: 58,845 SQUARE FEET = 1.350895 ACRES.
- 5- THIS PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION: 9.0', AS PER F.E.M.A. MAP COMMUNITY No.120848, PANEL No.0483, SUFFIX L, LAST REVISED ON SEPTEMBER 11, 2009.
- 6- ALL ELEVATIONS THUS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929, AS MEASURED FROM MIAMI DADE COUNTY, BENCHMARK No MI-11, LOCATOR 0018 KB, ELEVATION: 4.35' AND IS A BRASS BAR IN CONC. MON. HARBOR DRIVE — 48' NORTH OF C/L KEY BISCAYNE YATCH CLUB DRIVE — 32.7' SOUTHWESTERLY OF C/L OF GATE ADDRESS # 191 HARBOR DRIVE — ACROSS STREET 15.8' NORTHEASTERLY OF NE. END OF BULKHEAD OF YACHT CLUB CANAL
- 7- LEGAL DESCRIPTION AS PROVIDED BY: OWNER
- 8- USE OF PROPERTY: COMMERCIAL
- 9- UNDERGROUND FOOTINGS, FOUNDATIONS, UTILITIES, OR SEPTIC TANKS WHERE NOT LOCATED BY THIS SURVEY.
- 10- THIS SURVEY HAVE BEEN MADE IN ACCORDANCE WITH TITLE COMMITMENT AGENT'S FILE REFERENCE 13-0032 GATEWAY, DATED MARCH 22, 2013, ISSUED BY OLD REPUBLIC NATIONAL INSURANCE COMPANY, FURNISHED TO THE UNDERSIGNED TO SHOW ANY MATTER OF RECORDS AFFECTING THE SUBJECT PROPERTY AS SHOWN.

SCHEDULE B-2 EXCEPTIONS

- ITEMS 1, 2, 3, 5, 6, 7, 8, 9, 10 AND 11 ARE STANDARDS
- ITEM 2C: NO ENCROACHMENT HAS BEEN FOUND
- ITEM 4: MATTERS CONTAINED ON THE PLAT OF MATHESON ESTATE AFFECT THE SUBJECT PROPERTY.
- ITEM 12: LEGAL DESCRIPTION OF LEASEHOLD PREMISES WILL BE PREPARED WHEN BOUNDARIES BE PROVIDED.

SKETCH OF SURVEY SCALE: 1"=20'



J. F. LOPEZ & ASSOCIATES, INC.

CONSULTING LAND SURVEYORS AND PLANNERS

CERTIFICATE N° LB.3192, STATE OF FLORIDA

7900 NW. 155th ST, SUITE 104, MIAMI LAKES, FL.33016

Ph: (305) 828-2725 Fax: (305) 828-3589

I HEREBY CERTIFY: THAT A SURVEY OF THE PROPERTY AS DESCRIBED IN THE FOREGOING CAPTION HAS BEEN MADE UNDER MY DIRECTION, AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17-05, OF FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT.

NOTE: THIS IS NOT A VALID SURVEY WITHOUT THE UNDERSIGNED SURVEYOR'S SIGNATURE AND EMBOSSED RAISED SEAL.

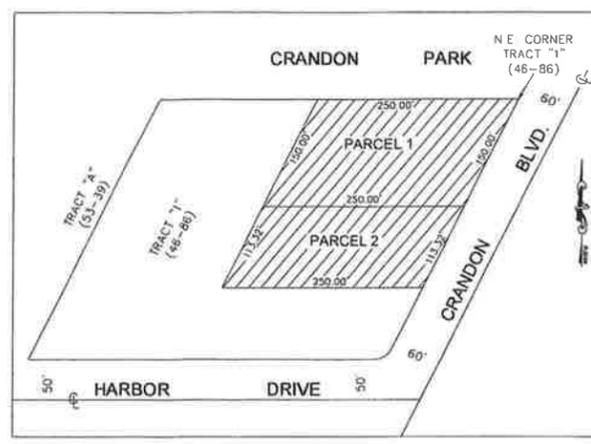
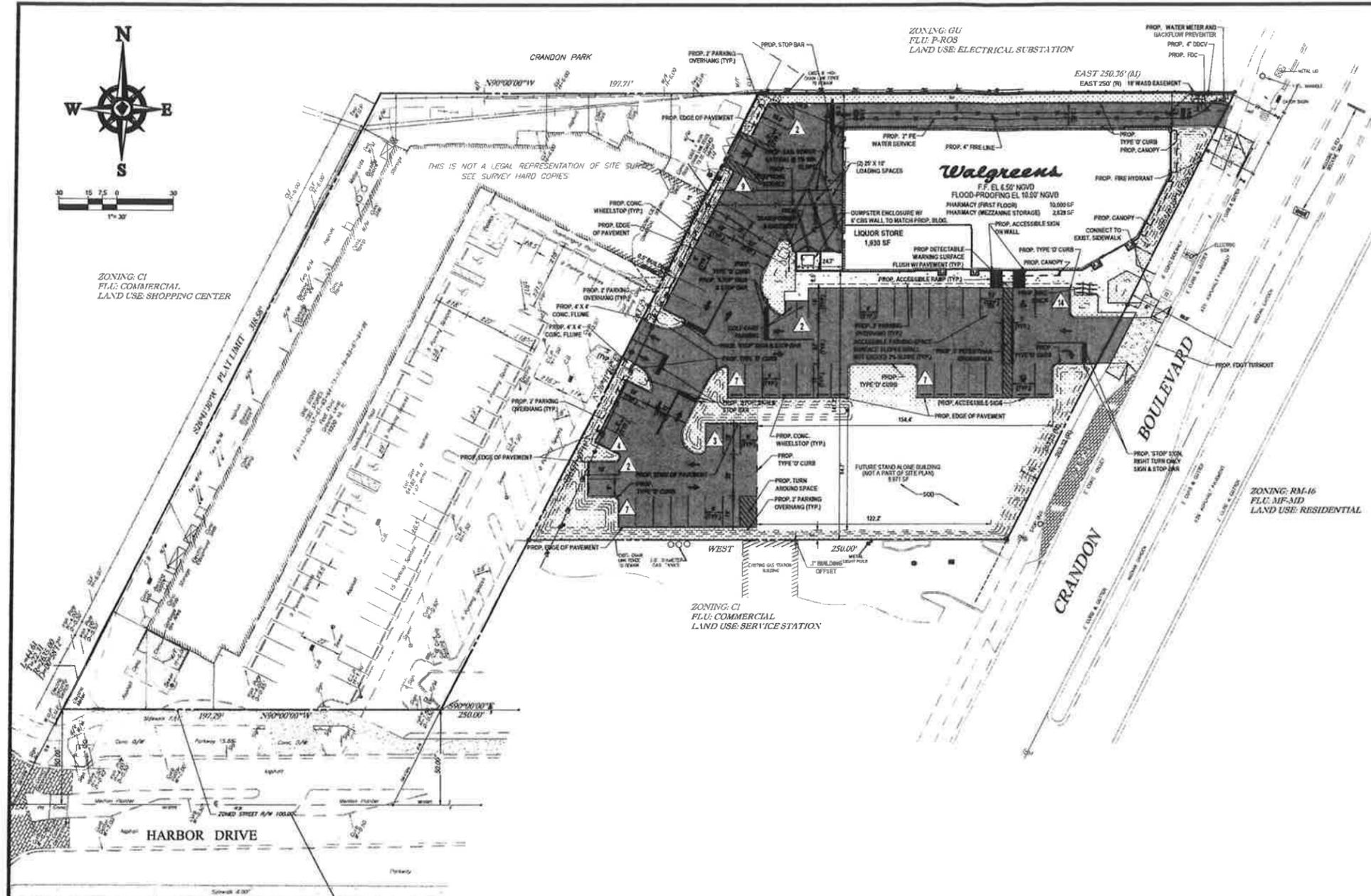
BY: *Jose Lopez*
JOSE F. LOPEZ, P.S.M.
 Professional Surveyor & Mapper
 N°3086, State of Florida.

CERTIFIED TO:
 Walgreens Co.,
 Attorneys' Title Fund Services, LLC,
 Key Biscayne Gateway Partners, Ltd., a Florida
 limited partnership.
 and Florida Investment Partners, Inc.

DATE OF FIELD WORK:	ORDER N°	DRAWN BY:	FIELD BOOK:	CAD FILE:	REVISIONS:
APRIL 06, 2013	120813	JFL	ON FILE	110638-110617	ADD NEW TITLE COMMITMENT
SEPTEMBER 08, 2012	120813	JFL	ON FILE	110638-110617	REVISED, UPDATED & RECERTIFIED
MAY 21, 2012	120507	JFL	H6-45	110638	RECERTIFICATION
JUNE 18, 2011	110617	JFL	H6-45	110617	REVISED & UPDATED
MAY 23, 2009	090515	JFL	H6-45	090515	REVISED & UPDATED
APRIL 04, 2007	070370	MT.P.	H6-45	070370	REVISED & UPDATED
DECEMBER 04, 2006	061133	MT.P.	H6-45	061133	BOUNDARY SURVEY & ELEVATIONS



ZONING: C1
F.L.U.: COMMERCIAL
LAND USE: SHOPPING CENTER



LOCATION MAP
SCALE: 1"=100'

SITE DATA

ZONING: C-1 (COMMERCIAL LOW INTENSITY)
F.L.U. COMMERCIAL

BUILDING AREA			
PROPOSED RETAIL (FIRST FLOOR)	10,000 SF		
PROPOSED RETAIL STORAGE (MEZZANINE STORAGE)	2,828 SF		
LIQUOR STORE	1,930 SF		
TOTAL AREA	14,558 SF		

LOT AREA	58,815 SF (1.35 AC) 100%	TOTAL PHARMACY 48,844 (84.8%)	FUTURE STAND ALONE BUILDING 8,971 (15.2%)
PERVIOUS AREA	11,234 SF (0.25 AC) 19.1%	2,263 (3.9%)	8,971 (15.2%)
IMPERVIOUS AREA	47,581 SF (1.09 AC) 80.9%	47,581 (80.9%)	0 (0%)

MAX. LOT COVERAGE	REQUIRED 35%	20.3%	0%
FAR (MAX.)	0.5	0.25	0.0
MAX. HEIGHT	3 STORY (39')	1 STORY (36.85')	N/A

MINIMUM SETBACKS			
FRONT (EAST)	10'	10'	
REAR (WEST)	0'	48.4'	
SIDE (NORTH)	0'-30"	18.3'	
SIDE (SOUTH)	0'-30"	141.2'	

PARKING			
REQUIRED USE	AREA	RATIO	SPACES
PROPOSED RETAIL (FIRST FLOOR)			
RETAIL	9,380 SF	1/220	42.6
STORAGE	620 SF	1/2,000	0.3
PROPOSED RETAIL (MEZZANINE STORAGE)	2,828 SF	1/2,000	1.3
LIQUOR STORE			
RETAIL	1,430 SF	1/220	6.5
STORAGE	500 SF	1/2,000	0.3
TOTAL			51 SPACES

PROVIDED	
REGULAR SPACES	52
ADA SPACES	3
GOLF CART	2
TOTAL	57

FEMA FLOOD ZONE: AE (EL. 8.0 & 0.0 NGVD)

BOHLER ENGINEERING
CORPORATE OFFICE
1000 CORPORATE DRIVE, SUITE 200
PORT LAUDERDALE, FL 33455
PH: (954) 202-7900
FAX: (954) 202-7970
www.bohlereng.com

CIVIL & CONSULTING ENGINEER
SURVEYOR
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

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• MIAMI, FL
• MIAMI BEACH, FL
• MIAMI GARDENS, FL
• MIAMI LAKES, FL
• MIAMI SPRING, FL
• MIAMI VALLEY, PA
• TAMPA, FL

REVISIONS

REV.	DATE	DESCRIPTION	BY
1	04-05-13	REVISED FOR CITY COMMENTS	LOT
2	10-10-13	ADDRESS CITY COMMENTS	JFV

NOT FOR CONSTRUCTION

PROJECT No.: F120079
DRAWN BY: JFV
CHECKED BY: MMT
DATE: 01-18-13
SCALE: AS NOTED
CADD ID: F120079 SITE PLAN

PROJECT:
CRANDON BLVD. & CRANDON PARK
FOR
MORGAN PROPERTIES
VILLAGE OF KEY BISCAIYNE
MIAMI-DADE COUNTY, FLORIDA

BOHLER ENGINEERING
1000 CORPORATE DRIVE, SUITE 200
PORT LAUDERDALE, FL 33455
PH: (954) 202-7900
FAX: (954) 202-7970
www.bohlereng.com

MICHAEL A. TROXEL
PROFESSIONAL ENGINEER
November 19, 2013
FLORIDA LICENSE NO. 50522
FLORIDA BOARD OF CIVIL ENGINEERS

SHEET NUMBER: **C-1**

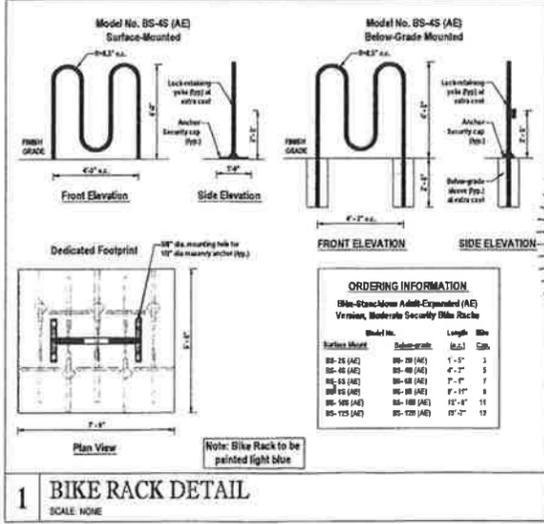
- NOTES:
- ALL BUILDINGS SHALL BE FLOOD-PROOFED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
 - LIQUOR STORE TO BE SERVED BY UTILITY SERVICES
 - WALL BETWEEN LIQUOR STORE AND ADJACENT TENANT TO BE COMPRISED OF CBS OR EQUIVALENT MATERIAL
 - NO ACCESS FROM / TO LIQUOR STORE AND ADJACENT TENANTS.

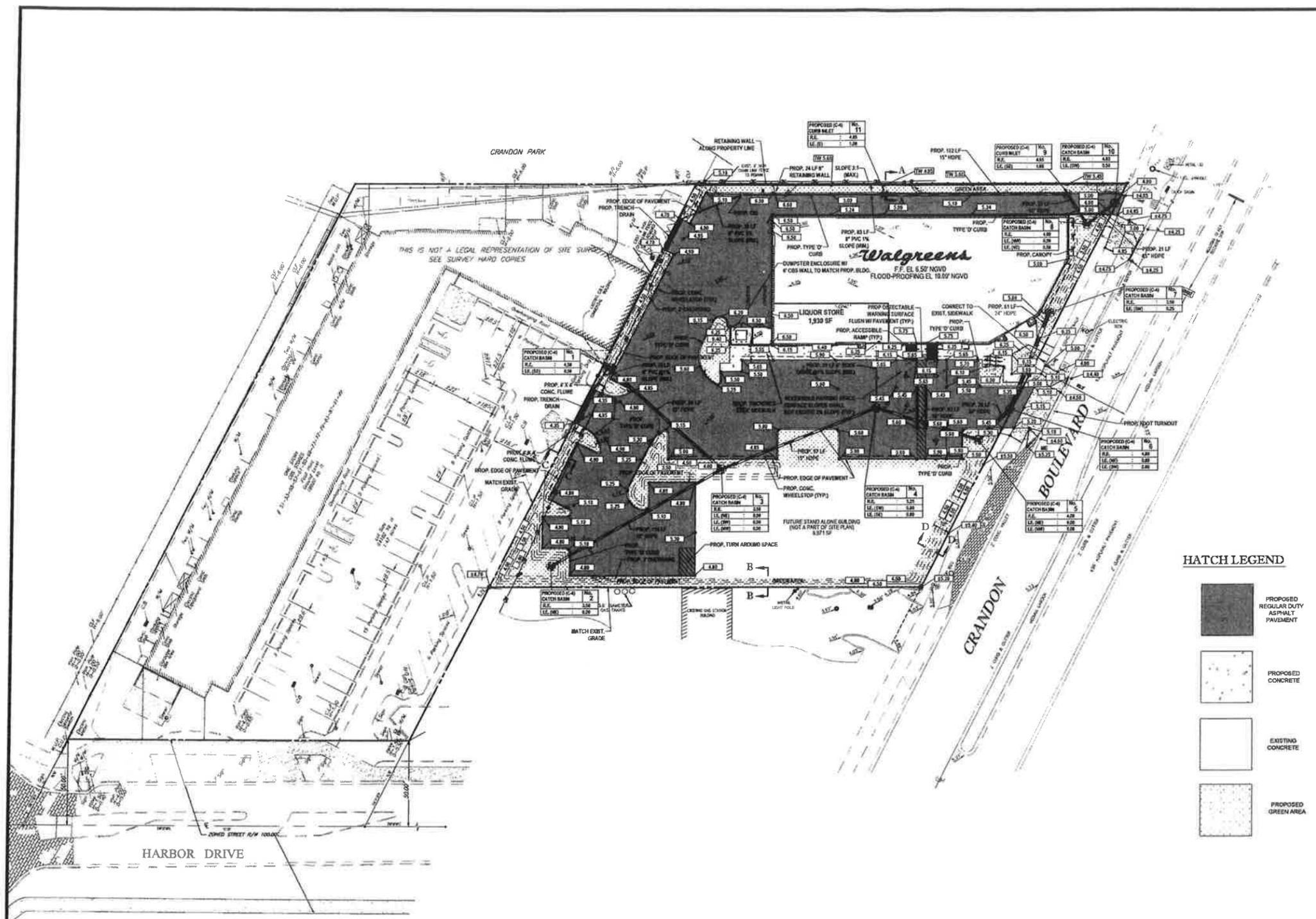
LEGEND

EXISTING	TYPICAL NOTE TEXT	PROPOSED
	UNDERGROUND WATER LINE	W
	UNDERGROUND ELECTRIC LINE	E
	UNDERGROUND TELEPHONE LINE	T
	SANITARY SEWER	S
	BACKFLOW PREVENTER	Z
	FIRE HYDRANT	H
	WATER METER	M

HATCH LEGEND

	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE
	EXISTING CONCRETE

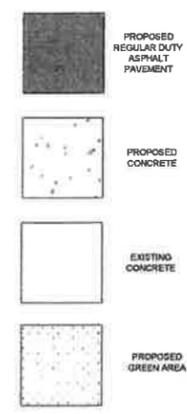




CONSTRUCTION NOTES:

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOO ALL DISTURBED AREAS. SOODING INCLUDES MAINTAINING SLOPE AND SOO UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO FASTER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4778) OR (811) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
- EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
- EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.

HATCH LEGEND

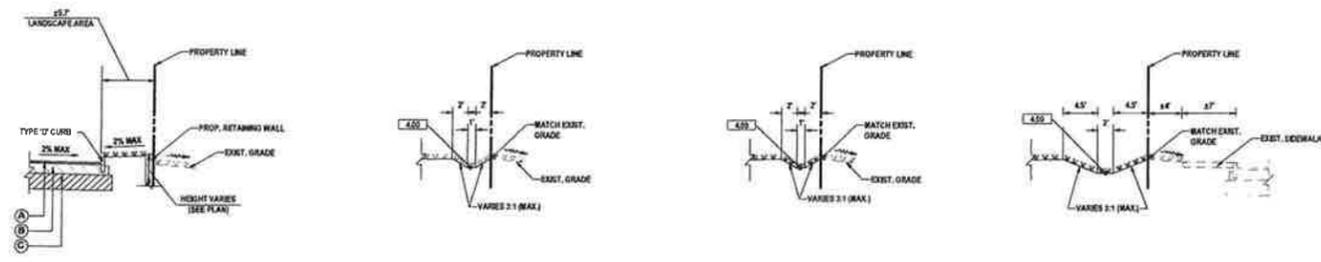


PAVING, GRADING & DRAINAGE LEGEND

EXISTING	TYPICAL NOTE TEXT	PROPOSED
	ROOF DRAIN	D
	STORM SEWER	—
	CATCH BASIN	⊙
	GRADE SPOT SHOT	⊙
	MATCH EXISTING	ME
	UNDERGROUND WATER LINE	—
	UNDERGROUND ELECTRIC LINE	—
	UNDERGROUND TELEPHONE LINE	—
	SANITARY SEWER	—
	BACKFLOW PREVENTER	Z
	FIRE HYDRANT	*
	WATER METER	⊕

PAVEMENT LEGEND

- A** WEARING SURFACE: (ASPHALT AREAS ONLY)
INSTALLATION OF THE 1 1/2" ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED WITH (2) LIFTS OF 3/4" S-III ASPHALTIC CONCRETE WITH TACK COAT BETWEEN LIFTS. (VIRGIN ASPHALT TO BE USED FOR FINAL LIFT.)
- B** LIME ROCK BASE: (ASPHALT VEHICULAR PAVED AREAS)
LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 8" THICKNESS AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-190 (LBR 100). OTHER SUBSTITUTES SHALL BE PER FOOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER AS ABOVE (MIN LBR 100) WITH ENGINEER'S APPROVAL. LIMEROCK SHALL EXTEND 12" BEYOND ASPHALT LIMITS.
- C** SUB-BASE: 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-190 (MIN LBR 40). (APPLY TO DUMPSTER AND DRIVE THRU BENEATH CONCRETE SLAB). SUBGRADE SHOULD EXTEND 12" BEYOND LIMEROCK/CONCRETE LIMITS.



SECTION A-A NOT TO SCALE
SECTION B-B NOT TO SCALE
SECTION C-C NOT TO SCALE
SECTION D-D NOT TO SCALE

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEER
 SURVEYOR
 PROJECT MANAGER
 ENVIRONMENTAL CONSULTANT
 LANDSCAPE ARCHITECT

OFFICE: WALTER, NJ
 BRANCHES: BOSTON, MA; BOWNE, MD; CHARLOTTE, NC; FARGO, ND; FORT LAUDERDALE, FL; GREENSBORO, NC; HARTFORD, CT; HUNTSVILLE, AL; JACKSONVILLE, FL; JEFFERSONVILLE, IN; KANSAS CITY, MO; LITTLE ROCK, AR; MEMPHIS, TN; MIAMI, FL; NASHVILLE, TN; OKLAHOMA CITY, OK; ORLANDO, FL; RICHMOND, VA; TAMPA, FL; WASHINGTON, DC

REVISIONS

REV.	DATE	COMMENTS	BY
1	04-08-13	REVISED PER CITY COMMENTS	LOT
2	10-10-13	ADDRESS CITY COMMENTS	JV

NOT FOR CONSTRUCTION

PROJECT NO.: F120079
 DRAWN BY: JFY
 CHECKED BY: MAY
 DATE: 01-16-13
 SCALE: AS NOTED
 CAD ID: F120079 P02

CRANDON BLVD. & CRANDON PARK
 FOR
MORGAN PROPERTIES

VILLAGE OF KEY BISCAIENE
 MIAMI-DADE COUNTY, FLORIDA

BOHLER ENGINEERING

PROFESSIONAL ENGINEER
 November 19, 2013
 FLORIDA LICENSE NO. 58572
 ALABAMA BUSINESS CERT. OF AUTH. NO. 22534

MICHAEL TROXELL
 PROFESSIONAL ENGINEER
 November 19, 2013
 FLORIDA LICENSE NO. 58572
 ALABAMA BUSINESS CERT. OF AUTH. NO. 22534

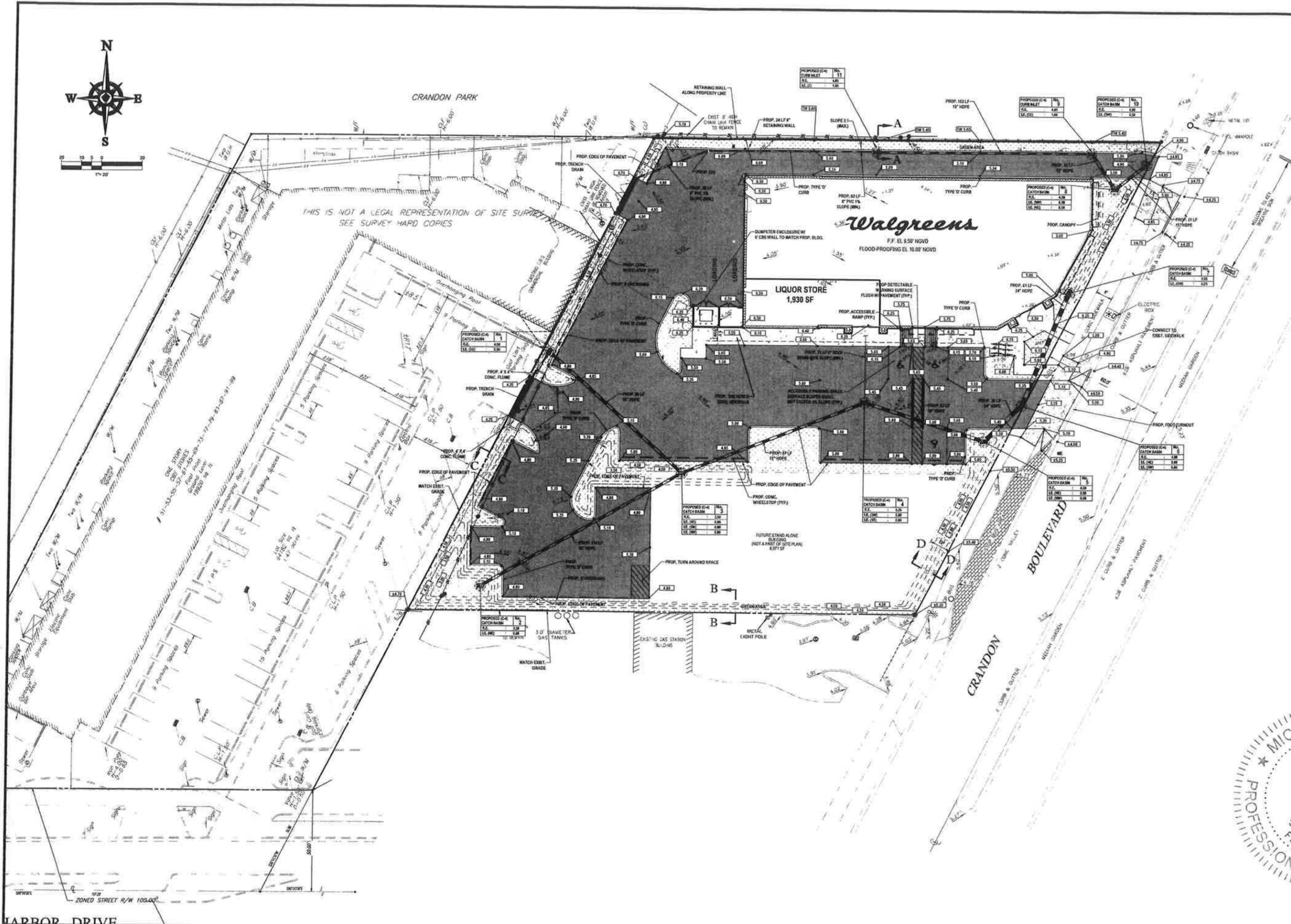
CONCEPTUAL PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER: **C-2**

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ALL BUILDINGS SHALL BE FLOOD-PROOFED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

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CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
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REVISIONS:

REV.	DATE	COMMENT	BY
1	04-06-13	REVISED PER CITY COMMENTS	LDI
2	10-10-13	ADDRESS CITY COMMENTS	JFV

NOT FOR CONSTRUCTION

PROJECT No. F120078
 DRAWN BY: JFV
 CHECKED BY: MAT
 DATE: 01-18-13
 SCALE: AS NOTED
 CAD I.D.: F120078 P00-23

PROJECT:
CRANDON BLVD. & CRANDON PARK
 FOR
MORGAN PROPERTIES

VILLAGE OF KEY BISCAYNE
 MIAMI-DADE COUNTY, FLORIDA

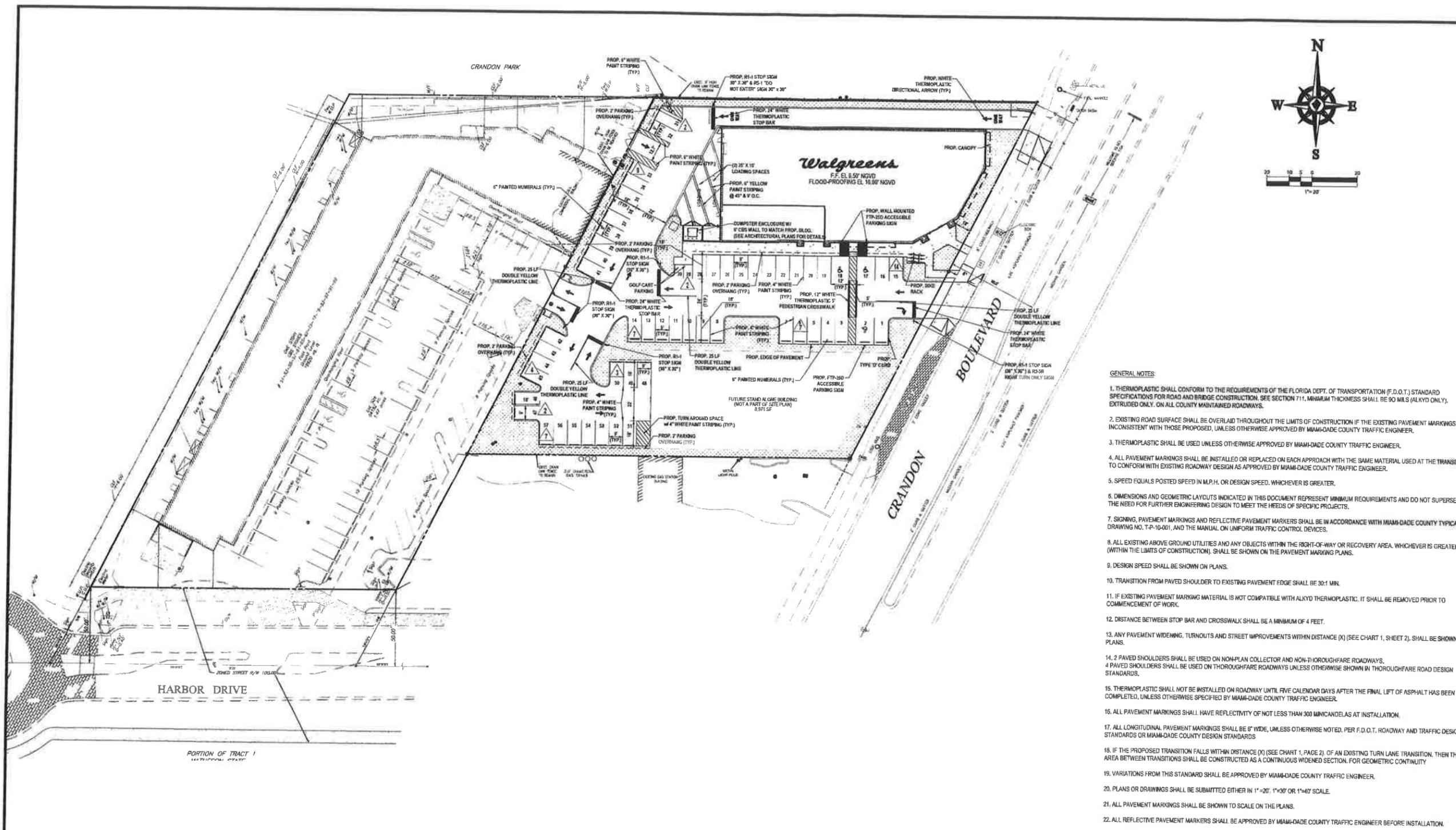
BOHLER ENGINEERING

MICHAEL A. TROXELL
 PROFESSIONAL ENGINEER
 November 15, 2013
 FLORIDA LICENSE No. 80572
 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:
DRID CONCEPTUAL PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-2A

Printed on Recycled Paper, November 15, 2013, 3:06 PM by Michael Troxell



GENERAL NOTES:

1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPT. OF TRANSPORTATION (F.D.O.T.) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE SECTION 711. MINIMUM THICKNESS SHALL BE 90 MILS (ALKYD ONLY), EXTRUDED ONLY, ON ALL COUNTY MAINTAINED ROADWAYS.
2. EXISTING ROAD SURFACE SHALL BE OVERLAID THROUGHOUT THE LIMITS OF CONSTRUCTION IF THE EXISTING PAVEMENT MARKINGS ARE INCONSISTENT WITH THOSE PROPOSED, UNLESS OTHERWISE APPROVED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER.
3. THERMOPLASTIC SHALL BE USED UNLESS OTHERWISE APPROVED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER.
4. ALL PAVEMENT MARKINGS SHALL BE INSTALLED OR REPLACED ON EACH APPROACH WITH THE SAME MATERIAL USED AT THE TRANSITION TO CONFORM WITH EXISTING ROADWAY DESIGN AS APPROVED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER.
5. SPEED EQUALS POSTED SPEED IN M.P.H. OR DESIGN SPEED, WHICHEVER IS GREATER.
6. DIMENSIONS AND GEOMETRIC LAYOUTS INDICATED IN THIS DOCUMENT REPRESENT MINIMUM REQUIREMENTS AND DO NOT SUPERSEDE THE NEED FOR FURTHER ENGINEERING DESIGN TO MEET THE NEEDS OF SPECIFIC PROJECTS.
7. SIGNING, PAVEMENT MARKINGS AND REFLECTIVE PAVEMENT MARKERS SHALL BE IN ACCORDANCE WITH MIAMI-DADE COUNTY TYPICAL DRAWING NO. T-P-10-001, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
8. ALL EXISTING ABOVE GROUND UTILITIES AND ANY OBJECTS WITHIN THE RIGHT-OF-WAY OR RECOVERY AREA, WHICHEVER IS GREATER (WITHIN THE LIMITS OF CONSTRUCTION), SHALL BE SHOWN ON THE PAVEMENT MARKING PLANS.
9. DESIGN SPEED SHALL BE SHOWN ON PLANS.
10. TRANSITION FROM PAVED SHOULDER TO EXISTING PAVEMENT EDGE SHALL BE 30:1 MIN.
11. IF EXISTING PAVEMENT MARKING MATERIAL IS NOT COMPATIBLE WITH ALKYD THERMOPLASTIC, IT SHALL BE REMOVED PRIOR TO COMMENCEMENT OF WORK.
12. DISTANCE BETWEEN STOP BAR AND CROSSWALK SHALL BE A MINIMUM OF 4 FEET.
13. ANY PAVEMENT WIDENING, TURNOUTS AND STREET IMPROVEMENTS WITHIN DISTANCE (X) (SEE CHART 1, SHEET 2), SHALL BE SHOWN ON PLANS.
14. 2 PAVED SHOULDERS SHALL BE USED ON NON-PAN COLLECTOR AND NON-THOROUGHFARE ROADWAYS. 4 PAVED SHOULDERS SHALL BE USED ON THOROUGHFARE ROADWAYS UNLESS OTHERWISE SHOWN IN THOROUGHFARE ROAD DESIGN STANDARDS.
15. THERMOPLASTIC SHALL NOT BE INSTALLED ON ROADWAY UNTIL FIVE CALENDAR DAYS AFTER THE FINAL LIFT OF ASPHALT HAS BEEN COMPLETED, UNLESS OTHERWISE SPECIFIED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER.
16. ALL PAVEMENT MARKINGS SHALL HAVE REFLECTIVITY OF NOT LESS THAN 300 MIMICDELAS AT INSTALLATION.
17. ALL LONGITUDINAL PAVEMENT MARKINGS SHALL BE 6" WIDE, UNLESS OTHERWISE NOTED, PER F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS OR MIAMI-DADE COUNTY DESIGN STANDARDS.
18. IF THE PROPOSED TRANSITION FALLS WITHIN DISTANCE (X) (SEE CHART 1, PAGE 2) OF AN EXISTING TURN LANE TRANSITION, THEN THE AREA BETWEEN TRANSITIONS SHALL BE CONSTRUCTED AS A CONTINUOUS WIDENED SECTION, FOR GEOMETRIC CONTINUITY.
19. VARIATIONS FROM THIS STANDARD SHALL BE APPROVED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER.
20. PLANS OR DRAWINGS SHALL BE SUBMITTED EITHER IN 1"=20', 1"=30' OR 1"=40' SCALE.
21. ALL PAVEMENT MARKINGS SHALL BE SHOWN TO SCALE ON THE PLANS.
22. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER BEFORE INSTALLATION.
23. ALL MARKERS SHALL BE CLASS "B" AS PER F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE SECTION 706.
24. REFLECTORS SHALL BE PLACED AT EACH CROSS HATCH, SPACING VARIES WITH SPEED AS SHOWN ON THIS TYPICAL, (SHEET 4)
25. REFLECTORS SHALL BE EQUALLY SPACED BETWEEN POINTS A AND B BUT NO MORE THAN 12' APART, (SHEET 4)
26. EPOXY SHALL BE USED WHEN INSTALLING R.P.M.'S ON CONCRETE, NO BITUMINOUS ADHESIVE SHALL BE USED TO SECURE R.P.M.'S. THERMOPLASTIC OR EPOXY SHALL BE USED ON ASPHALTIC SURFACES.
27. R.P.M.'S SHALL BE PLACED 1" (ONE INCH) TO THE LEFT OR RIGHT OF LINE.
28. F.D.P. DENOTES FLEXIBLE DELINEATOR POST
29. ALL PAVEMENT MARKING MATERIAL SHALL BE ON THE APPROVED FLORIDA DEPARTMENT OF TRANSPORTATION QUALITY PRODUCTS LIST (QPL) AND APPROVED BY P.B.C. TRAFFIC ENGINEER, BEFORE INSTALLATION ON COUNTY ROADWAYS.
30. ALL REMOVAL OF PAVEMENT MESSAGES AND ARROWS SHALL BE IN BLOCK STYLE SUCH THAT THE MESSAGE IS NO LONGER DISCERNIBLE. METHOD OF REMOVAL SHALL BE APPROVED BY MIAMI-DADE COUNTY TRAFFIC ENGINEER.
31. WHEN TRAFFIC EXCEEDS 75 VEHICLES PER HOUR FOR RIGHT TURNS OR 30 VEHICLES PER HOUR FOR LEFT TURNS, THE TURN LANES SHALL BE CONSTRUCTED AS PER SHEET 2 OF 19.
32. FOR SIGN SIZES REFER TO TABLES 25-1 AND 22-2 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

NOTES:

1. ALL R1-1, R1-2 AND R5-1 SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEETING.
2. ALL TRAFFIC CONTROL DEVICES MAINTAINED BY MIAMI-DADE COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED USING CURRENT MIAMI-DADE COUNTY STANDARDS.
3. ALL PAVEMENT MARKINGS AND SIGNING DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO MIAMI-DADE COUNTY STANDARD.
4. PAVEMENT MARKINGS AND GEOMETRICS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS AND MIAMI-DADE COUNTY TYPICAL No. T-P-10-001.
5. DAMAGES TO LOOPS OR ANY SIGNAL EQUIPMENT CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION BY THE PERMITEE AT NO COST TO MIAMI-DADE COUNTY.

BOHLER ENGINEERING

CORPORATE OFFICE
W. WILSON, NJ

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MIAMI LAKES, FL
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MIAMI VALLEY, FL
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TAMPA, FL
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WILMINGTON, DE
YAKIMA, WA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV.	DATE	COMMENT	BY
1	04-28-13	REVISED PER CITY COMMENTS	LDY
2	10-10-13	ADDRESS CITY COMMENTS	JFV

NOT FOR CONSTRUCTION

PROJECT No. F120078
DRAWN BY: JFV
CHECKED BY: MAT
DATE: 01-15-13
SCALE: AS NOTED
CAD LD.: F120078 PMS

PROJECT:
CRANDON BLVD. & CRANDON PARK
FOR
MORGAN PROPERTIES

VILLAGE OF KEY BISCAYNE
MIAMI-DADE COUNTY, FLORIDA

BOHLER ENGINEERING

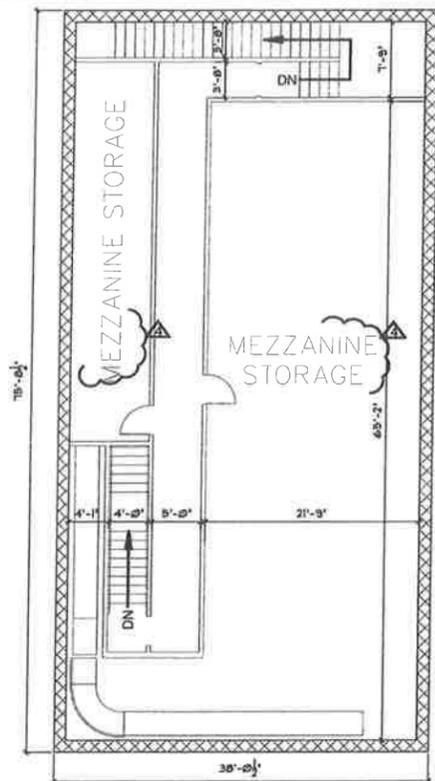
REGISTERED PROFESSIONAL ENGINEER
No. 120078
1000 CORPORATE DRIVE, SUITE 200
FORT LAUDERDALE, FL 33304
PH: (954) 303-0000
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NO. 50878
MICHAEL A. TROXELL
PROFESSIONAL ENGINEER
No. 50878
FLORIDA LICENSE NO. 20572
FLO. PROFESSIONAL CERT. OF AUTH. No. 21558

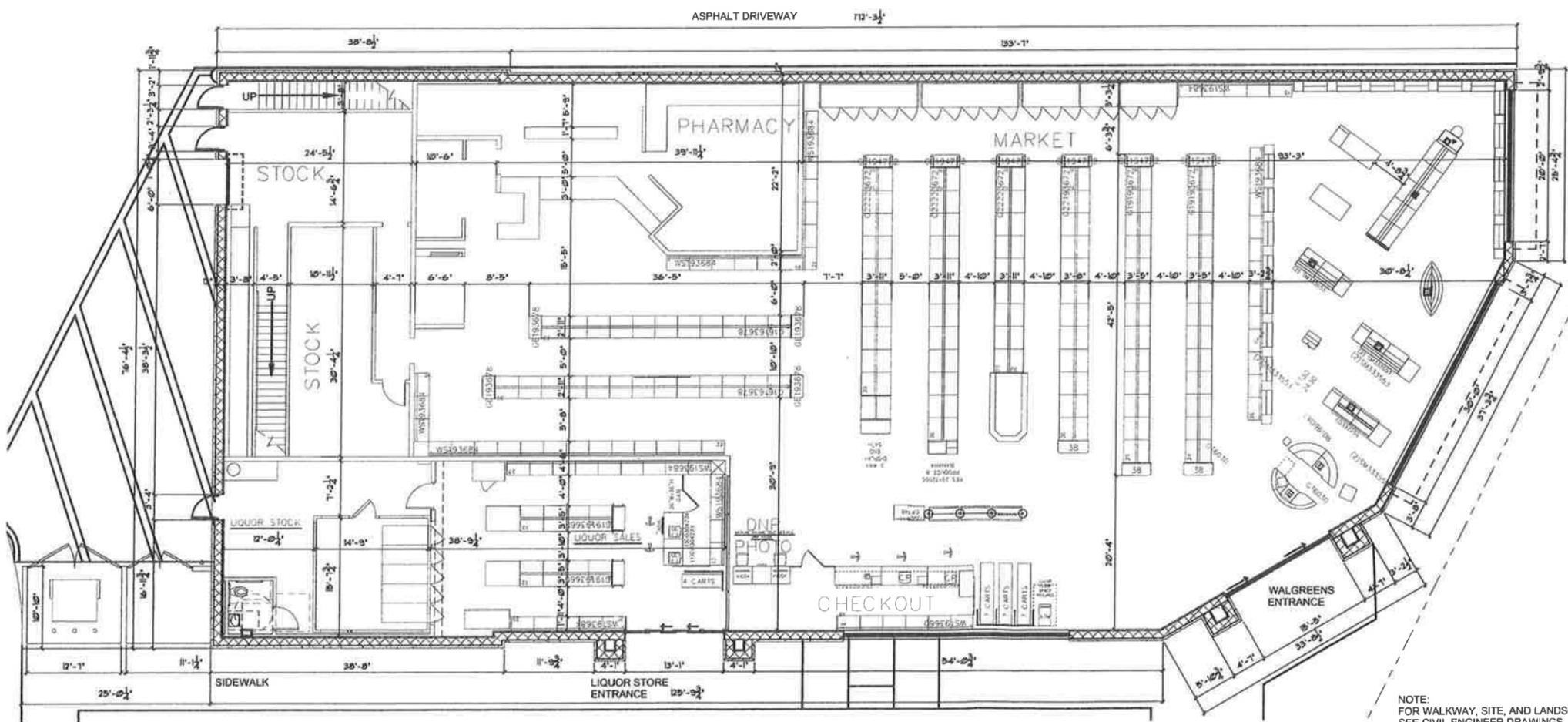
SHEET TITLE: **PAVEMENT MARKING & SIGNAGE PLAN**

SHEET NUMBER:
C-3

Printed on Tuesday, November 19, 2013, 1:57 PM by Jonathan Vignola



2 MEZZANINE STORAGE FLOOR PLAN
1/8" = 1'-0"



NOTE:
FOR WALKWAY, SITE, AND LANDSCAPE DESIGN,
SEE CIVIL ENGINEER DRAWINGS.

1 GROUND FLOOR PLAN
1/8" = 1'-0"

Walgreens

PROJECT NO. _____
PROJECT TYPE : NEW CONSTRUCTION

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TO BE SELECTED)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



ANGEL C. SAQUI, FAIA
ARCHITECTS + PLANNERS + INTERIORS, LTD.

2800 HIGHLAND BLVD. SUITE 1000
CIVIL AVENUE, FORT LAUDERDALE, FL 33309
WWW.SAQUIARCHITECTS.COM

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a Development of

MORGAN PROPERTY GROUP

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Suite 250
Charlotte, N.C. 28277

PHONE: (704) 888-6600
FAX: (704) 888-8801

NO.	DATE	BY	DESCRIPTION	CONST.
10/09/13			VILLAGE COMMENTS	
09/24/13			VILLAGE COMMENTS	
04/04/13			COORDINATION	
03/28/13			SITE PLAN APPROVAL COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

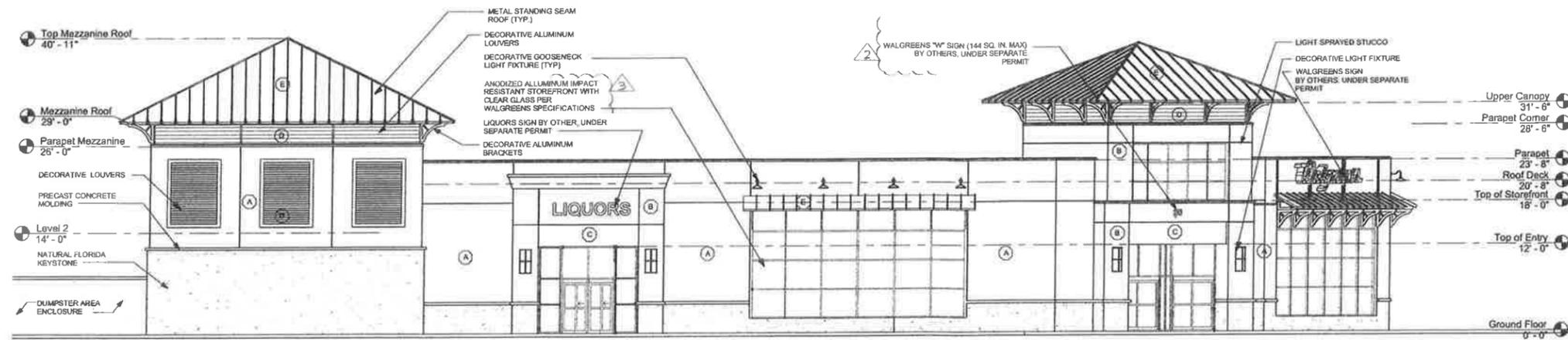
I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA AS SIGNIFIED BY MY HAND AND SEAL.

SEAL

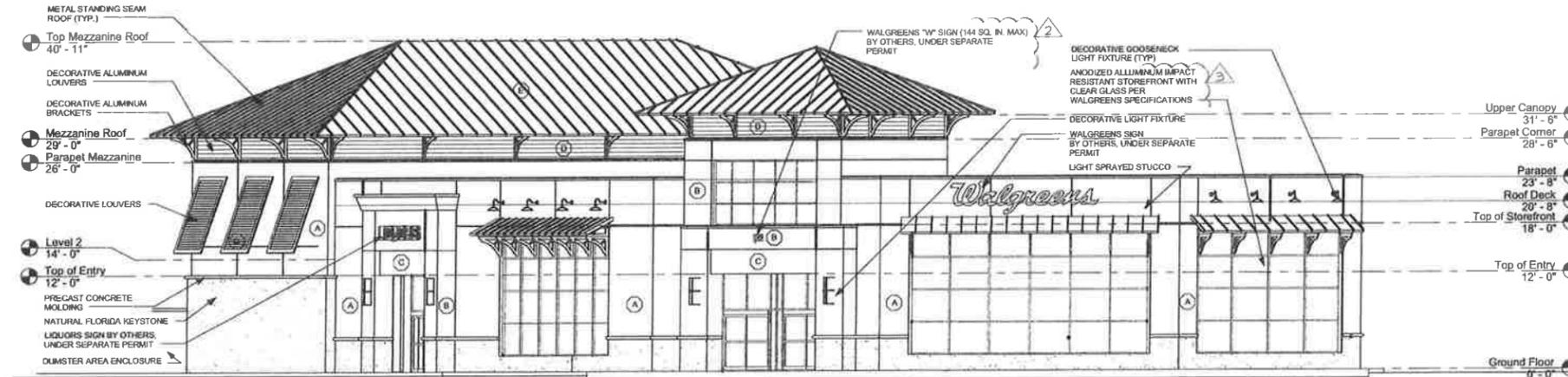
ANGEL C. SAQUI II, AIA
AR# 0012558

STORE# _____
PROJECT NAME
Walgreens
AT
(INWC) CRANDON BLVD. & HARBOR DRIVE
KEY BIRDAINE, FL
DRAWING TITLE
FLOOR PLAN

CADD PLOT: 1226	SCALE: 1/8" = 1'-0"	DRAWING NO.
VOID PLOT:	DRAWN BY: Author	A1.11
SUPERSEDES PLAN DATED:	DATE: 03/01/2013	
	REVIEWED BY: ACS II	OF DWGS.



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

COLOR LEGEND - SHERWIN WILLIAMS PAINT

(A)	SW 6387 COMPATIBLE CREAM (BODY COLOR 1)
(B)	SW 7503 STICKS AND STONES (BODY COLOR 2 FOR ENTRY TOWER TO WALGREENS STORE AND LIQUOR STORE PORTICO)
(C)	SW 6320 BRAVADO RED (ACCENT COLOR 1 FOR RECESSED ENTRY BEAM)
(D)	SW 7524 OHMURRIE BEIGE (ACCENT COLOR 2 FOR ALL LOUVERS AT SECOND FLOOR LEVELS, BAHAMA SHUTTERS AND TRIM)
(E)	ZINC GREY STANDING SEAM METAL ROOFS

AREA CALCULATIONS

AREA OF EXTERIOR FACADE FACING GRANDON BLVD = 2,217 SQ. FT.
50% OF EXTERIOR FACADE REQUIRED TO BE GLAZING = 1,109 SQ. FT.
GLAZING PROVIDED ON EXTERIOR FACADE FACING GRANDON BLVD = 1,113 SQ. FT.

Walgreens

PROJECT NO.
PROJECT TYPE: NEW CONSTRUCTION

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS'
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TO BE SELECTED)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

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Development of
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13624 Ballantyne Corporate Place
Suite 250
Charlotte, NC 28277
PHONE: 704 582-8800
FAX: 704 582-8801

NO.	DATE	BY	DESCRIPTION	CONST.
1	11/13/13		KEY BISCAYNE GLASS COMMENTS	
2	11/07/13		KEY BISCAYNE SIGN COMMENTS	
3	03/28/13		SITE PLAN APPROVAL COMMENTS	

REVISIONS

NO.	DATE	BY	DESCRIPTION	CONST.
1	11/13/13		KEY BISCAYNE GLASS COMMENTS	
2	11/07/13		KEY BISCAYNE SIGN COMMENTS	
3	03/28/13		SITE PLAN APPROVAL COMMENTS	

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA AS SIGNIFIED BY MY HAND AND SEAL

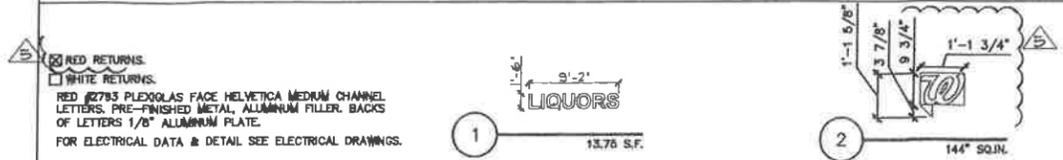
SEAL
ANGEL C. SAQUI II, AIA
AR# 0012558

STORE#
PROJECT NAME
Walgreens
AT
(NWC) GRANDON BLVD. & HARBOR DRIVE
KEY BISCAYNE, FL.

EXTERIOR ELEVATIONS

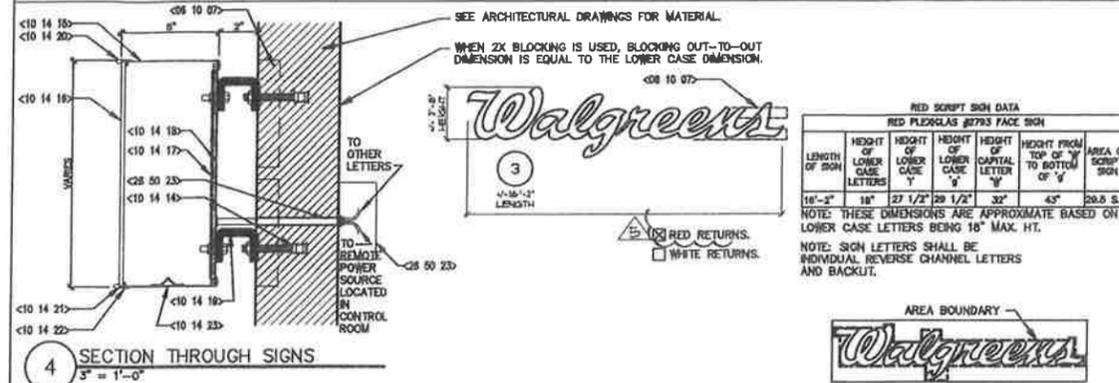
CADD PLOT: 1226 SCALE: 1/8" = 1'-0" DRAWING NO.
VOID PLOT: DRAWN BY: G.V.L.P. DATE: 03/01/13 SUPERSEDES PLAN DATED: REVIEWED BY: A.C.S. II OF DWGS: **A2.11**

L.E.D. CHANNEL LETTER SIGNS



RED RETURNS.
 WHITE RETURNS.
 RED #2793 PLEXIGLAS FACE HELVETICA MEDIUM CHANNEL LETTERS. PRE-FINISHED METAL, ALUMINUM FILLER. BACKS OF LETTERS 1/8" ALUMINUM PLATE.
 FOR ELECTRICAL DATA & DETAIL SEE ELECTRICAL DRAWINGS.

L.E.D. CHANNEL LETTER SIGN DETAILS



RED SCRIPT SIGN DATA
 RED PLEXIGLAS #2793 FACE SIGN

LENGTH OF SIGN	HEIGHT OF LOWER CASE LETTERS	HEIGHT OF LOWER CASE 'Y'	HEIGHT OF CAPITAL LETTER 'Y'	HEIGHT FROM TOP OF 'Y' TO BOTTOM OF 'Y'	AREA OF SCRIPT SIGN	
18'-2"	18"	27 1/2"	29 1/2"	30"	43"	20.5 SF.

NOTE: THESE DIMENSIONS ARE APPROXIMATE BASED ON LOWER CASE LETTERS BEING 18" MAX. HT.
 NOTE: SIGN LETTERS SHALL BE INDIVIDUAL REVERSE CHANNEL LETTERS AND BACKLIT.

SECTION THROUGH SIGNS
 5" = 1'-0"

SIGN SPECIFICATION

1. GENERAL CONTRACTOR:
 CONTRACTOR SHALL COORDINATE ALL WORK. NOTIFY ELECTRICAL CONTRACTOR & SIGN CONTRACTOR AS SOON AS POSSIBLE AFTER THE SIGN WALL OR STRUCTURE IS IN PLACE. GENERAL CONTRACTOR SHALL NOT CLOSE UP THE BACK SIDE OF WALL UNTIL ELECTRICAL CONTRACTOR & SIGN CONTRACTOR HAVE COMPLETED THEIR WORK.
 CONCEALED SIGN SUPPORTS: GENERAL CONTRACTOR SHALL PROVIDE CONCEALED CONTINUOUS WOLMANIZED STRUCTURAL GRADE WOOD SIGN SUPPORTS WHERE STUD OR RAFTER TYPE FRAMING OCCURS.
 1. WHERE SCRIPT SIGNS ARE SHOWN, PROVIDE 2 CONCEALED 2 X 8 MEMBERS AT TOP AND BOTTOM OF SCRIPT FOR ALL SIGNS UP TO 20'-8 3/4". SCRIPT SIGNS OVER 20'-8 3/4", PROVIDE 2 CONCEALED 2 X 8 MEMBERS AT TOP AND BOTTOM OF SIGNS.
 2. WHERE INDIVIDUAL LETTER SIGNS ARE SHOWN, PROVIDE 2 CONCEALED 2 X 8 MEMBERS TOP AND BOTTOM OF SIGNS.

2. ELECTRICAL CONTRACTOR:
 CONTRACTOR SHALL PROVIDE ONE MAIN ELECTRIC SERVICE PANEL AND FEEDS TO THE BACK SIDE OF SIGN WALL. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, FEED AND JUNCTION BOXES ALONG BACK SIDE OF SIGN WALL. PROVIDE JUNCTION BOXES FOR EACH LOCATION APPROXIMATELY WHERE SIGN CONTRACTOR WILL PROVIDE CONDUIT HOUSING THROUGH WALL. PROVIDE ELECTRIC SERVICE CAPACITIES AND CIRCUITS AS SHOWN ON ELECTRICAL DRAWINGS.

3. SIGN CONTRACTOR:
 A. FOLLOW DRAWINGS AND SPECIFICATIONS OF SIGNS AND USE TEMPLATES OF APPROVED DIMENSIONS, CONTOURS, SHAPES AND WITH ELECTRICAL COMPONENTS & CAPACITIES AS SPECIFIED.
 B. SIGN CONTRACTOR SHALL FURNISH FOUR SETS OF SHOP DRAWINGS TO WALGREENS FACILITIES PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 C. SIGN CONTRACTOR SHALL CONSTRUCT SIGN IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND ACCORDING TO UNDERWRITERS LABORATORIES SPECIFICATIONS AND TO BEAR U.L. LABELS. SIGN CONTRACTOR SHALL OBTAIN ALL STATE AND MUNICIPAL PERMITS NECESSARY TO INSTALL SIGN(S).

4. SIGN INSTALLATION AT BUILDING FACE, WORK BY SIGN CONTRACTOR:
 A. SIGN CONTRACTOR SHALL ESTABLISH CENTER LINE OF SIGN WALL. MEASURE LOCATION OF EACH ELECTRIC LEAD FROM THE CENTER OUTWARD. PROVIDE 1/2" GALVANIZED CONDUIT AND HOUSING THROUGH 1 1/4" GROUND HOLES. LET THREADED CONDUIT PROJECT THROUGH WALL 1 1/2".
 B. SIGN CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH ON EXTERIOR OF SIGN FOR EACH CIRCUIT TO COMPLY WITH STATE AND LOCAL CODES. EACH SIGN SHALL BE ACTIVATED BY APPROVED PHOTO CELL AND TIME SWITCH WITH MANUAL OVERRIDE SWITCH. ELECTRICAL CONTRACTOR TO FURNISH PHOTO CELL, TIME SWITCH, AND MANUAL OVERRIDE SWITCH.

WORK RESPONSIBILITY

ALL EXTERIOR BUILDING SIGNS SHALL BE FURNISHED AND INSTALLED BY WALGREENS SIGN CONTRACTOR.
 ALL OTHER RELATED WORK INCLUDING SIGN SUPPORTS AND ELECTRICAL POWER SUPPLY SHALL BE PER SIGN SPECIFICATIONS - THIS SHEET.
 ALL FINAL CONNECTIONS MADE BY SIGN CONTRACTOR.

NATIONAL ACCOUNTS

SIGN ASSEMBLY AND EXPEDITOR
 ICON-MIDWEST 800-635-8181
 TERRITORIES
 ALABAMA, CALIFORNIA, CONNECTICUT, DELAWARE, FLORIDA, GEORGIA, IDAHO, MAINE, MARYLAND, MASSACHUSETTS, MISSISSIPPI, MONTANA, NEVADA, NEW HAMPSHIRE, NEW JERSEY, NEW YORK, NORTH CAROLINA, OREGON, PENNSYLVANIA, RHODE ISLAND, SOUTH CAROLINA, TENNESSEE, VERMONT, VIRGINIA, WASHINGTON D.C., WEST VIRGINIA, WYOMING
 ELECTRONIC READER BOARD MANUFACTURER
 DAKTRONICS
 LED ILLUMINATION FOR WALL LETTERS: SLOAN



PROJECT NO.
 PROJECT TYPE: NEW CONSTRUCTION

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS
 LANDLORD'S CONSULTANT
 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TO BE SELECTED)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

ANGEL C. SAQUI, FAIA
 ARCHITECTS + PLANNERS + INTERIORS, Ltd.
 8880 KNOX BLVD #100
 DOWNS SHELLS, FLORIDA 33444
 PHONE (772) 338-0000 FAX (772) 338-0001
 WWW.ANGELC.COM

Development of
MORGAN PROPERTY GROUP
 13024 Ballantyne Corporate Place
 Suite 250
 Charlotte, N.C. 28277
 PHONE (770) 888-0000 FAX (770) 888-0001

NO	DATE	BY	DESCRIPTION	CONST
	11/20/13		SIGN COORDINATION	
	04/04/13		COORDINATION	
	03/28/13		SITE PLAN APPROVAL COMMENTS	

REVISIONS

NO	DATE	BY	DESCRIPTION	CONST
	11/20/13		SIGN COORDINATION	
	04/04/13		COORDINATION	
	03/28/13		SITE PLAN APPROVAL COMMENTS	

CERTIFICATION AND SEAL

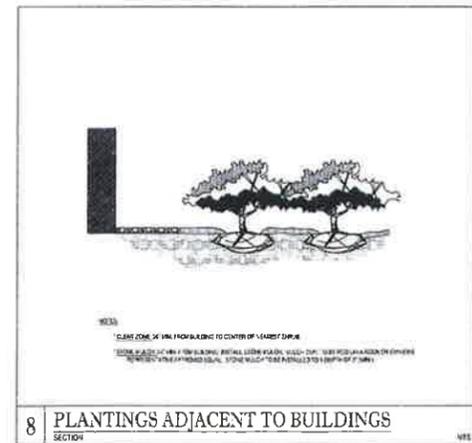
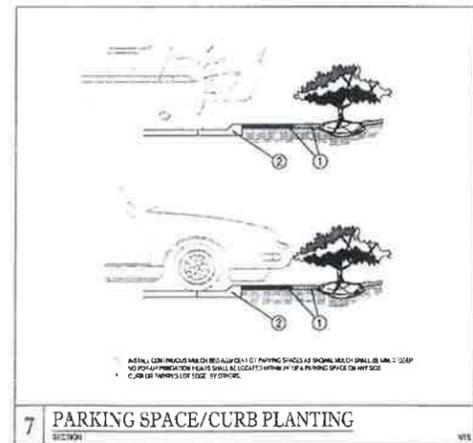
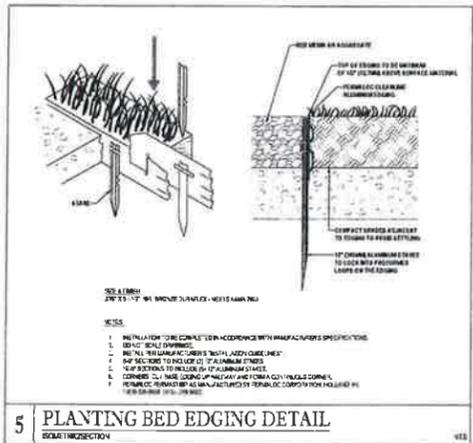
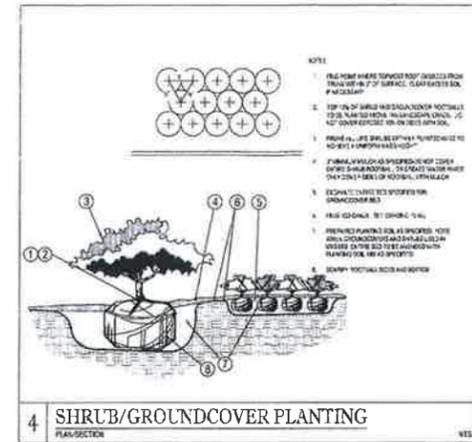
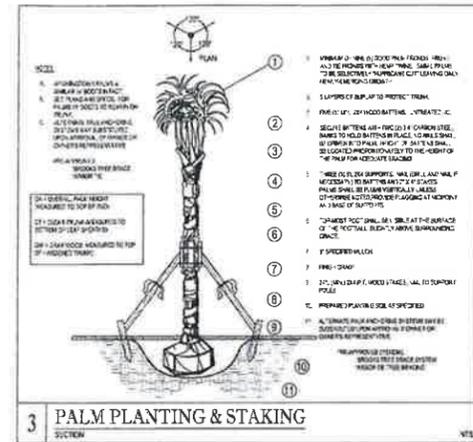
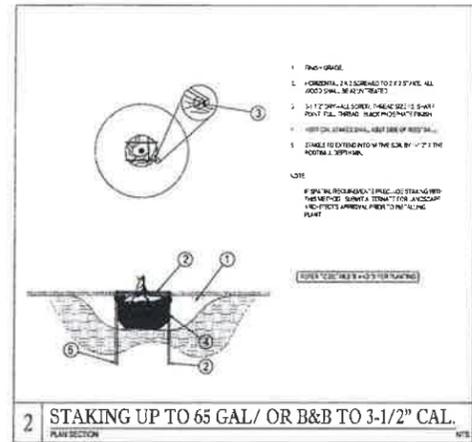
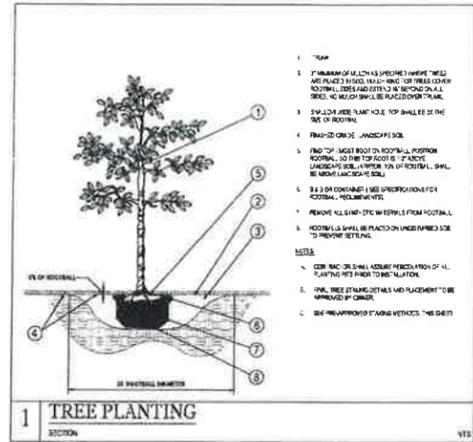
I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA AS SIGNIFIED BY MY HAND AND SEAL

SEAL
 ANGEL C. SAQUI II, AIA
 AR# 0012558

STORE#
 PROJECT NAME
Walgreens
 AT
 (NWC) CRANDON BLVD. & HARBOR DRIVE
 KEY BISCAYNE, FL
 DRAWING TITLE

SIGNAGE PLAN AND DETAILS

CADD PLOT: 1228
 VOID PLOT:
 SUPERSEDES PLAN DATED:
 SCALE: 1/8" = 1'-0"
 DRAWING NO:
 DRAWN BY: C.V.I.P.
 DATE: 03/01/13
 REVIEWED BY: A.C.S.II
A2.13
 OF DWGS



BOHLER ENGINEERING
CORPORATE OFFICE
WARREN, NJ
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

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BOSTON, MA
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FORT WORTH, TX
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MIAMI, FL
NEW YORK, NY
PHOENIX, AZ
SAN ANTONIO, TX
SAN DIEGO, CA
WASHINGTON, DC

REVISIONS			
REV.	DATE	COMMENTS	BY

NOT FOR CONSTRUCTION

PROJECT No. F120079
DRAWN BY JPV
CHECKED BY MMT
DATE 01-18-13
SCALE: AS NOTED
CADD I.D. F120079 LANDSCAPE PLAN

PROJECT

CRANDON BLVD. & CRANDON PARK

FOR

MORGAN PROPERTIES

CITY OF KEY BISCAYNE
MIAMI-DADE COUNTY, FLORIDA

BOHLER ENGINEERING

RAJICIE III
1000 CORPORATE DRIVE, SUITE 250
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MICHAEL D. GROSSWIRTH

REGISTERED LANDSCAPE ARCHITECT
November 19, 2013
FLORIDA LICENSE No. 0666871
FLORIDA BUSINESS COST. OF AUTH. No. 27528

SHEET TITLE

LANDSCAPE PLANTING DETAILS

SHEET NUMBER

LP-2

Printed on Recycled Paper, November 19, 2013, 1:38 PM for user: jpv



VILLAGE OF KEY BISCAYNE

Department of Building, Zoning and Planning

Village Council
Franklin H. Caplan, *Mayor*
Michael W. Davey, *Vice Mayor*
Theodore J. Holloway
Michael E. Kelly
Mayra P. Lindsay
Ed London
James S. Taintor

DT: December 3, 2013
TO: John C. Gilbert, Village Manager
FR: Jud Kurlancheek, AICP, Director
Building, Zoning, and Planning Department
RE: Site Plan Review: 12-22-24 Crandon Boulevard
with access from 51 Harbor Drive

Director
Jud Kurlancheek, AICP
Chief Building Official
Eugenio M. Santiago, P.E., CFM

APPLICATION SUMMARY

Applicant	Morgan Property Group
Request	Site Plan Approval for a multi-tenant commercial building
Site Address	12-22-24 Crandon Boulevard with access from 51 Harbor Drive
Master Plan	Commercial
Zoning District	C -1 Low Intensity Commercial
File Number	SP - 22
Recommendation	Approval with Conditions

The Application: The applicant has filed an application for site plan approval for a multi-tenant shopping center that contains two (2) stores: (1) a 10,000 sq. ft. pharmacy with a 2,628 sq. ft. mezzanine limited to storage; (2) and a 1,930 sq. ft. package store. The shopping center is located at 12-22-24 Crandon Boulevard with access from the adjacent property at 51 Harbor Drive.

Traffic Study: Several of the below Site Plan Review Criteria address the impact the project would have on traffic at the intersection of Crandon Boulevard and Harbor Drive and at the entrances to the Project on Crandon Boulevard and at 51 Harbor Drive (Harbor Plaza Shopping Center). In order determine those impacts, the Village retained

the services of Atkins North America. Their traffic study is attached to this memorandum.

Purpose of Site Plan Review: Site plan review is designed to achieve the following objectives:

1. To insure that infrastructure (water, sewer, and roads) is in place at the time the development is completed.
2. To encourage logic, imagination, and variety in the design process.
3. To insure that projects are compatible, both aesthetically and functionally, with the surrounding area.
4. To promote excellence in urban design.
5. To encourage buildings those are consistent with the high quality environment associated with the Village.

Site Plan Review Criteria: In order for the project to move forward, the Village's Zoning and Land Development Regulations require the site plan for the above captioned project be approved by the Village Council. In order to approve a site plan, the Council must find that the project is consistent with the below criteria.

The below analysis and findings related to the traffic and circulation criteria are based upon the best available data and conclusions presented in the attached Atkins Traffic Study. Atkins discussed the possibility of a specialized Trip Generation Study if the Council wanted to move in that direction. The below analysis and findings are subject to change if the specialized Trip Generation Study presents different conclusions than those which are presented in the attached Traffic Study.

Criteria 1 **Natural Environment.** All proposed development shall be designed in such a manner as to preserve, perpetuate and improve the existing natural character of the site. Existing trees and other landscape features shall, to the maximum extent possible, be preserved in their natural state, and additional landscape features shall be provided to enhance architectural features, to relate structural design to the site, and to conceal unattractive uses, to relate structural design to the site, to conceal unattractive uses, and to improve tree canopy in the Village. In all instances the Village's tree protection, landscaping and all other applicable regulations shall be fully complied with as minimum standards.

Analysis: The Village's Master Street Tree Plan designates Live Oaks as the street tree for Crandon Boulevard. The applicant is proposing to plant 23 Southern Live Oaks on the property with several fronting on Crandon Boulevard. There are several street trees facing Crandon Boulevard which are not Live Oaks and they will be removed. Both new trees and those to be removed are consistent with the Master Street Tree Plan.

The following summarizes the disposition of the nine (9) canopy trees and seven (7) palm trees (see page LD-1) on the property.

- a. Three (3) of the canopy trees are Oaks and they will remain;
- b. Two (2) of the canopy trees are West Indian Mahogany and will remain;
- c. Three (3) of the canopy trees are dead and will be removed;
- d. One (1) of the canopy trees is in poor condition and will be removed; and
- e. All of the seven (7) palm trees will be removed because they are in poor condition or in the wrong location.

Page LP – 1 provides an inventory of the trees, shrubs, ground covers and sodded area that will be planted on the property. The following summarizes the proposed plant schedule which includes those trees that are being retained on the site:

- a. Canopy trees 44
- b. Palm trees 66
- c. Shrubs 507
- d. Shrub areas 604
- e. Ground covers 160
- f. Sod 8,838 sq. ft.

Staff has determined that the above inventory of plantings meets the Village's landscaping requirements. The natural environment, existing and proposed landscaping is consistent with the Florida Vernacular architectural style which includes the following elements: metal standing seam roof, cbs structures, decorative louvers over the windows, keystone finishes, decorative aluminum brackets at the roof lines and pastel paint colors.

The landscaping plan through the extensive use of native plant materials and shrubs compliments the architecture and plantings.

Finding: Consistent

Criteria 2 Open space. Adequate landscaped open space shall be provided which meets the particular needs and demands of the proposed development and all specific zoning district requirements.

- a. Passive open spaces (those areas not planned for intensive activity) shall be arranged as to enhance internal spatial relationships between proposed structures, to provide buffers between the project and adjacent less intensive uses, to facilitate pedestrian movements within the development, and to improve the overall visual quality of the site.
- b. Active open spaces (those areas containing activities such as playgrounds, tennis courts, swimming pools and other active recreational facilities) shall be located so as to permit easy access to all residents or users within a development. Private recreational facilities and activities within specific projects shall, wherever possible, complement rather than duplicate, nearby public recreational activities.

Analysis:

- a. Passive Open Space: the project is adjacent to mangroves in Calusa Park to the north, a shopping center to the west and a gasoline station to the south. The extensive use of landscaping at the perimeter of the property provides sufficient buffer.

Pedestrian movement within the site occurs at the intersection of the parking areas and the building where there is a pathway to the entrances. The overall visual quality of the site is enhanced through the Florida Vernacular Architecture and the combination of canopy trees, palm trees, and shrubs.

- b. Active Open Space: The site is located in Commercial zoning district and the proposed development is a shopping center. As such, there are no active recreational uses such as playgrounds, tennis courts or swimming pools. This criteria is not applicable.

Finding: Consistent

Criteria 3 Circulation and parking. All circulation systems and parking facilities within a proposed development shall be designed and located in such a manner as to comply with the following:

- a. A clearly defined vehicular circulation system shall be provided which allows free movement within the proposed development while discouraging excessive speeds. Said systems shall be separated insofar as practicable from pedestrian circulation systems. Pavement widths and access points to peripheral streets shall be provided which adequately

serve the proposed development and which are compatible and functional with circulation systems outside the development.

- b. Whenever possible in proposed residential developments, living units should be located on residential streets or courts that are designed to discourage non-local through traffic.
- c. Off-street parking areas shall be provided which adequately accommodate maximum vehicle storage demands for the proposed project and are located and designed in such a manner so as to conveniently serve the uses to which they are accessory and not create incompatible visual relationships.
- d. Safe and efficient access to all areas of the proposed development shall be provided for emergency and service vehicles, as required by Chapter 52.11 of the Florida Building Code.
- e. Sidewalks shall be provided as required by the Village regulations.
- f. Handicapped Accessibility shall be provided as required by all applicable regulations.

Analysis: The following analysis is alphabetically keyed to the above criteria

- a. There are four (4) ingress and egress locations to access the property. Two are located on Crandon Boulevard. The first is a one way "in" driveway at the north end of the site. The second one is located in the middle of the property. It will function as the primary access to the property as it leads directly to a parking lot and entrances to the building. A third way to enter the property is from the driveway at 51 Harbor Drive that leads to the property at 12-22-24 Crandon Boulevard. The applicant has filed a cross-access agreement which permits this circulation pattern to occur. The fourth is an alley located on the west side of the 51 Harbor Drive property. This alley provides access for service vehicles and leads to the property at 12-22-24 Crandon Boulevard. There is employee parking at the north edge of the property between the building and Calusa Park.

The circulation system provides for the movement of vehicles to travel around the 12-22-24 Crandon property and through to the 51 Harbor Drive property. Sidewalks are adequately separated from the driveways. Pavement widths are sized to meet the needs of vehicles entering and leaving the property.

- b. This criteria relates to residential developments. Since the project is a commercial use, this criteria is not applicable.

- c. The project contains 75 parking spaces including a loading zone area that shows two (2) spaces. The parking spaces are conveniently located adjacent to the building and at the entrance to the liquor store and near the entrance to the pharmacy. There are adequate landscaped areas to provide visual relief from the pavement and which complement the building.
- d. Emergency vehicles can conveniently enter the property from two (2) locations along Crandon Boulevard which are considered by the Fire Department as the primary points of access for emergency situations. The applicant is proposing a secondary point of access into the property through a parking lot at 51 Harbor Drive and then into the site.
- e. Sidewalks are conveniently provided connecting the site to the public sidewalk at Crandon Boulevard. There is a sidewalk along the south edge of the building which provides access from the parking lot into the liquor store and pharmacy. There is a proposed 5 ft. pedestrian sidewalk in the center of the parking lot that connects to a site that will be developed in the future.
- f. There are two (2) handicap parking spaces conveniently located near the front door of each store. There is a third handicap space on the south side of the parking lot.

Finding: Consistent with criteria (c), (d), (e), and (f). A finding related to criteria (a) could not be made for reasons that are set forth in the attached Traffic Study. Criteria (b) address residential developments. As such, it does not apply to this commercial project.

Criteria 4 Community services and utilities. All proposed developments shall be designed and located in such a manner as to insure the adequate provision, use and compatibility of necessary community services and utilities.

- a. An adequate sanitary sewer collection system including all necessary extensions and connections shall be provided in accordance with Village standards for location and design. Where necessitated by the size of the development and/or by the unavailability of Village treatment facilities, sanitary sewage treatment and disposal systems must be provided in accordance with Village and state standards and regulations.
- b. An efficient solid waste collection system, including the provision of an adequate number of properly screened local receptacles in locations which afford maximum use and collection convenience, shall be provided in accordance with all applicable Village standards.

- c. A well designed internal system for fire protection, including the provisions of an adequate number of properly located fire hydrants and an efficient access arrangement for emergency fire vehicles, shall be provided to ensure the safety of all persons within the project.

Analysis: The following analysis is alphabetically keyed to the above criteria.

- a. The sanitary sewage system can accommodate the needs of this facility. The applicant's March 13, 2013 letter states that the current structures contain 15,551 sq. ft. and the proposed structure has 14,558 sq. ft. As such, a finding of concurrency is not required.
- b. There is an enclosed dumpster at the rear of the property which is sized to meet the needs of the building.
- c. There is a proposed fire hydrant at the northeast portion of the site. Fire Department Staff have commented that the hydrant should be relocated to the entrance to Walgreens with a second hydrant at the south side of the property labeled "Future Stand Alone Building".

Finding: Consistent

Criteria 5 Building and other structures. All buildings and structures proposed to be located within a development shall be oriented and designed in such a manner as to enhance, rather than detract from, the overall quality of the site and its immediate environment. The following guidelines shall be followed in the review and evaluation of all buildings and structures:

- a. Proposed buildings and structures shall be related harmoniously to the terrain, other buildings and the surrounding neighborhood, and shall not create through their location, style, color or texture, incompatible physical or visual relationships.
- b. All buildings and structures shall be designed and oriented in a manner insuring maximum privacy of residential uses and related activities both on the site being developed and property adjacent thereto.
- c. All permanent outdoor identification features which are intended to call attention to proposed projects and/or structures shall be designed and located in such a manner as to be an integral part of the total project and/or structural design and shall not exceed a size and scale necessary for the recognition from vehicles moving along adjacent streets at prescribed legal speeds.

Analysis: The following analysis is alphabetically keyed to the above criteria.

- a. The architecture for the project is consistent with Florida Vernacular which includes the following elements: metal stand seam roof, cbs

structures, decorative louvers over the windows, keystone finishes, decorative aluminum brackets at the roof lines and pastel painting. It is a one story building with a mezzanine that adds height and visual interest to the building. The adjacent buildings are one story. The location, style and color of the building are consistent with surrounding structures.

There is a fence along the north property line. It is deteriorated and in a state of disrepair.

- b. This criteria relates to the privacy of residential uses. Since the project is a commercial use, this criteria is not applicable.
- c. The permanent outdoor identification features are signs for the pharmacy and liquor store. The signs are an integral part of the design of the structure and can be easily viewed from Crandon Boulevard by motorists and pedestrians. However, as detailed below the proposed signs exceed the appropriate size and scale necessary to be seen from vehicles on Crandon Boulevard. In reaching this conclusion my analysis includes (1) a description of the Walgreens and Liquor Store Program, (2) a comparison of the proposed letter heights with letters uses in other shopping centers, and (3) a comparison of the Walgreens proposed letter heights with those used at the CVS.

1. Walgreens and Liquor Store Sign Program:

Walgreens sign:

Color	Red #2793	
Type of sign	Reverse Channel with back lit letters	
Font (style of letters)	Script with a "W" in capital letters and all other are lower case.	
Size of letters	Capital "W"	32.0 inches
	Lower Case letters	29.5 inches
	Logo	12.0 inches
Size of sign	29.50 sq. ft.	

Liquor store sign:

Color	Red #2793
Type of sign	Reverse Channel with back lit letters
Font	Helvetica Medium with all capital letters
Size of letters	All letters are 1 ft. 6 in.
Size of sign	13.75 sq. ft.

2. Comparison of Walgreens Letter Heights with Other Shopping Centers:

Attached is a table comparing the signage for all of the eight (8) shopping centers in the Village. Six (6) of the eight (8) shopping centers have a maximum sign height of 18 inches with exception of the CVS letters which are 24 inches high and the remaining letters are 14 inches high. The Square and Key Colony Plaza have letters with a maximum height of 14 inches.

Examples of appropriately sized signs are those that are used in The Square Shopping Center and Chase Bank. Signs at the Square Shopping Center are 14 inches in height and are very visible from Crandon Boulevard. These signs are approximately 60 ft. to 300 ft. from the Crandon Boulevard sidewalk.

A second example of appropriately sized sign is the recently installed sign on Chase Bank Building at 328 Crandon Boulevard. The letters used in that sign are 16 inches high. The Chase Bank sign is approximately 82 ft. from the Crandon Boulevard sidewalk. This sign is also very visible from Crandon Boulevard.

3. The following compares the Walgreens letters with those used at the CVS store.

	Walgreens	CVS
Maximum letter height	"W" is 32 inches	"CVS is 24 inches
Smallest letters	Lower case letters are 27.5 to 29.5 inches	Pharmacy letters are no higher than 14 in.
Distance from the building to the Crandon Boulevard sidewalk	10 ft.	152 ft.

Both the Walgreens and CVS signs have capital and small case letters. The CVS letters are 152 ft. from Crandon Boulevard sidewalk and the Walgreens letters are 10 ft. Yet the proposed "W" is 25% larger than the CVS letters. The Walgreens small case letters are 49% to 53% larger than the small case letters in the CVS sign. As the Walgreens building is setback 10 ft. from the sidewalk, a 32 inch high capital "W" and 27.5 to 29.5 inch high small case letters are too large in relationship to what is necessary to be seen from the street.

Based upon the above three (3) analyses, the proposed signs are not consistent with this criteria and other signage that has been approved in other shopping centers. The height of the proposed letters exceeds the size and scale than what is necessary to be recognized by passengers in vehicles on Crandon Boulevard.

Based upon the above analysis, an appropriate sized and scaled sign should not have letters that exceed 14 inches in height.

Finding: Inconsistent.

Criteria 6 Level of service standards. All applicants are required to prove that the project meets the Village's Concurrency Level of Service Standards for Roads, Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Recreation and Open Space.

Analysis: Article VI of the Zoning and Land Development Regulations includes the Village's Concurrency Regulations. Section 30-164(a)(6) provides for an exception for "any new construction that results in a reduction in sq. ft. or density. The applicant's March 13, 2013 letter states that the current structures contain 15,551 sq. ft. and the proposed structure has 14,558 sq. ft. As such, a finding of currency is not required.

Finding: Consistent

Criteria 7 Density standards. No site plan shall be approved which would permit any development which would result in an increase in residential density in excess of the density previously approved for the subject property by a valid Development Order.

Analysis: This criteria relates to residential uses. Since the project is a commercial use, this criteria is not applicable.

Finding: Not applicable

Criteria 8 Other Requirements. Requirements and recommendations as provided in the Village tree and landscape regulations shall be observed as will the requirements of all applicable standards and regulations.

Analysis: As indicated above, the project meets the landscaping requirements as set forth in the Zoning and Land Development Regulations.

Finding: Consistent

RECOMMENDATION

It is recommended that the site plan be approved subject to the following changes and conditions:

1. Prior to the demolition of the property, the Village shall be given an opportunity to remove the trees that will not be kept on the property and plant them within the Village;
2. The eight (8) ft. high chain link fence along the north property line adjacent to Calusa Park shall be replaced with a six (6) ft. high black coated chain link fence;
3. Prior to the issuance of the a building permit, the applicant shall confirm that all runoff water is contained on site. The grass area in front of the entrance to the pharmacy shall be finished in concrete and the entire entrance area shall be designed as a plaza to enhance the entrance. The design shall be approved by the Building, Zoning, and Planning Director;
4. The proposed 5 ft. pedestrian sidewalk in the parking lot shall be concrete and clearly marked and signed as a sidewalk. Speed bumps shall be approved by the Building, Zoning, and Planning Director and located at the entrance and exit from the driveway to Crandon Boulevard and along the north driveway. The stop sign shall be placed on the exit at a location determined by the Building, Zoning, and Planning Director;
5. All glass shall be clear. The merchandising cabinets adjacent to the window shall be no higher than the window sill. Merchandise may be displayed on top of the cabinets. No machine or equipment shall be placed inside the store near the windows which blocks views into the store.
6. The maximum height of the letters shall not exceed 14 inches for the Walgreens and liquor store signs. The first letter of the Walgreens and the first letter in the liquor store sign shall be capitals with remaining letters in each sign small case.
7. The font for the Walgreens and liquor store shall be script, with reverse channel back lit red letters. The construction elements of both signs shall be identical.
8. There is a proposed fire hydrant at the northeast portion of the site. Fire Department Staff have commented that the hydrant should be relocated to the entrance to Walgreens with a second hydrant at the south side of the property labeled "Future Stand Alone Building".



VILLAGE OF KEY BISCAYNE

Department of Building, Zoning and Planning

Village Council

Franklin H. Caplan, *Mayor*
Michael W. Davey, *Vice Mayor*
Theodore J. Holloway
Michael E. Kelly
Mayra P. Lindsay
Ed London
James S. Taintor

Director

Jud Kurlancheek, AICP

Chief Building Official

Eugenio M. Santiago, P.E., CFM

DT: December 3, 2013

TO: John C. Gilbert, Village Manager

FR:  Jud Kurlancheek, AICP, Director
Building, Zoning, and Planning Department

RE: 12-22-24 Crandon Boulevard: Multi-tenant Sign Program

BACKGROUND

The Morgan Group has submitted an application for site plan review for a multi-tenant building containing two stores at 12-22-24 Crandon Boulevard. The application includes a sign program. For this type of project (multi-tenant development), the Zoning and Land Development Regulations contain guidelines and criteria to evaluate multi-tenant sign programs. Below is a comparison of the proposed sign program with the Regulations.

SIGN DESIGN REVIEW GUIDELINE

The Site Plan includes the proposed sign program for the multi-tenant shopping center at 12-22-24 Crandon Boulevard. The site plan also designates a land area for a "Future Stand Alone Building"; however, this area is labeled "not part of the site plan". As such, when a building is proposed for this area, the sign program will be reviewed at that time.

The Uniform Sign Graphics Criteria (Sec. 30-197(a)(1) addresses color, type of sign, font, and size of letters. The applicant proposes the following for the Walgreens and liquor store signs:

Color	Red #2793
Type of sign	Reverse Channel with back lit letters
Font (style of letters)	Script with a "W" in capital letters and all other are lower case. The same format will apply to the liquor store sign
Size of letters	Walgreens sign
	a. Capital "W" 32.0 inches
	b. Lower Case letters 29.5 inches
	c. Logo 12.0 inches

- Liquor store sign
 - a. All letters are capital
 - b. All letters are 1 ft. 6 in.

Size of sign	Walgreens sign	29.50 sq. ft.
	Liquor store sign	13.75 sq. ft.

Section 30-197(b) of the Zoning and Land Development Regulations provide for Sign Design Review Guidelines for sign programs that are proposed for a multi-tenant center. In order for the sign program to move forward, it must be approved by the Village Council based upon the guidelines. The following is an analysis of the proposed sign program with the guidelines and criteria.

Criteria 1 Number of items: No more than five (5) items shall be contained in any one sign.

Analysis: The term “item” refers to different styles of letters or shapes. The letters for the Walgreens store and liquor store contain the same font and shape; however, the liquor store sign is all caps and the Walgreens store sign has a capital “W” and the remaining letters are in small case.

Finding: Consistent

Criteria 2 Entrance feature. An entrance feature shall not be designed so as to effectively increase the size of the site.

Analysis: The project does not contain an entrance feature.

Finding: Not applicable

Criteria 3 Legibility. All signs are to be designed to be clearly legible.

Analysis: The letters are red which contrasts with the cream color of the building making them very easy to read. The reverse back lite channel letters result in signage that is easily read at night.

Finding: Consistent

Criteria 4 Architectural features. Signs shall not be placed on decorative architectural features

Analysis: The two signs and logo are placed over concrete, black and stucco that does not contain any architectural features.

Finding: Consistent

Criteria 5 Building compatibility. The materials and color of all signs shall be compatible with the materials and color of the building.

Analysis: Sheet A2.11 sets forth the color legend. The building utilizes Sherman Williams paint. The building will be painted cream and architectural elements will be pastels. The metal seam roof will be gray. The signs will be red which is the Walgreens trademark color. The building color scheme and finish materials provide for an appropriate background for the red Walgreens and Liquor signs which will be very visible from the street.

Finding: Consistent

Criteria 6 Illumination of Buildings by externally illuminated signs. There shall be no such illumination of buildings facing residential properties. The illumination of other buildings by externally illuminated signs shall not be brighter than the standard for parking lot and grounds lighting.

Analysis: The Crandon Boulevard right of way is 115 ft. with a landscaped median. The Pankey Building is a dental teaching facility and is directly opposite the site. Ocean Village is an apartment building.

The building contains eight (8) gooseneck light fixtures over the louvered windows and two (2) light fixtures each at the entrance to the Walgreens and liquor stores. In addition, the parking lot will have lighting that meets the Florida Building Code. The illumination in the store will shine through the windows. As such, the gooseneck lights and those at the entrance doors are not necessary and are designed more as attention getting devices rather than to provide the necessary lighting.

Finding: Consistent subject to the conditions provided below.

Section 30-195(1) provides regulations which address the size of wall signs. The applicant's proposed signage is consistent with these regulations.

As noted in the staff memorandum regarding the site plan application, Section 30-73 provides for review criteria to evaluate site plans including permanent outdoor identification features which include signs. As determined in that memorandum the maximum height of the letters shall not exceed 14 inches.

RECOMMENDATION

It is recommended that the sign program be approved with the following conditions:

1. Removal of the lights over the awning windows, the gooseneck lights, and the lights mounted at the entrance to Walgreens and the liquor store.

2. The maximum height of the letters shall not exceed 14 inches for the Walgreens and liquor store signs. The first letter of the Walgreens and the first letter in the liquor store sign shall be capitals with remaining letters in each sign in small case.
3. The font for the Walgreens and liquor store shall be script with reverse channel back lit red letters. The construction elements of both signs shall be identical.

SHOPPING CENTER SIGN PROGRAMS

ADDRESS	NAME	DATE APPROVED	FONT - FIRST LINE	FONT - SECOND LINE	LETTER COLOR	LETTER HEIGHT - 1 LINE	LETTER HEIGHT - 2 LINE	WALL SIGN PLACEMENT	SPECIAL CONDITIONS	LOGO COLOR	LOGO DIMENSIONS	LOGO SQ. IN.
180 Crandon Blvd.	Key Biscayne Shopping Arcade	10/10/1995	Helvetica	NA	Blue	18"	NA	NA	Max. wall sign length 66% of storefront lineal footage; 1 per unit except Ad Gustum may have 2, 1 facing parking, 1 facing Crandon; all nonconforming window, wall, & monument signs to be removed by 5/1/96	NA	NA	NA
200 Crandon Blvd.	Key Colony Plaza	02/26/2007	Variable	Variable	All the same, (Starbucks may be green)	14"	14"	All for groundfloor establishments facing interior courtyard placed on façade facing Crandon Blvd.; one on south side wall	Wall signs on front of building for stores not facing front; one wall sign not facing a public street; wall signs using flat letters vs. channel letters; wall signs of varying fonts & sizes; projecting signs at groundfloor establishments facing interior courtyard (size in graphics varies per establishment)	Green (Starbucks only); otherwise, NA	2' diameter	NA
260 Crandon Blvd.	The Square	04/09/1996	NA	NA	Bronze	14"	NA	Min. 12" clear at sides, centered vertically	Max. wall sign length 1 sq ft per lineal ft. of frontage; 1 logo on upper half of entry door (assoc. approval, max. 4 sq ft); name of business in upper left glass panel, (6" white letters, max. 4 sq ft); 1 info. sign (hrs., credit card, emergency #'s) on lower half entry door (6" white letters, 4 sq ft); business type in upper right glass panel, (6" white letters); unit # in upper half of glass panel next to door, (6" white letters)	Per condo. assoc.	Per condo assoc	Per condo assoc.
328 Crandon Blvd.	Key Biscayne Galeria	04/13/1993 rev. 09/24/96	Tenant option	Tenant option	Black	18"	12"	Centered horizontally	1 hanging sign permitted no closer than 4" from storefront window (per landlord)	NA	26" diam. max.	NA
600 Crandon Blvd.	Key Biscayne Shopping Center	09/28/1993	Helvetica Medium, Caps only	NA	Chromatic #144 Green	18"	NA	Centered on façade	1 under-canopy hanging sign per establishment, max. 1'x4', cedar, sandblasted, double-sided, by B&G Signworks	NA	NA	NA
724 Crandon Blvd.	CVS Shopping Center	08/28/2001	Helvetica Bold, Upper Case	NA	Red	18"; CVS letters 24", Pharmacy letters 14"	NA	Centered	Length max. 60% of storefront; no monument sign	NA	NA	NA
800 Crandon Blvd.	Ace Hardware Center	03/05/2002	Helvetica Medium	NA	Dark Blue	18"	NA	1 sign per storefront each on Mashta Dr. & Crandon Blvd.	1 line of letters per sign, 1 illuminated sign facing the La Phare Condominium permitted	NA	NA	NA
55-99 Harbor Dr.	Harbour Shopping Center	02/28/1995	Block	NA	White	18"; 7-11 4.5'; HARBOR PLAZA 2'	NA	20% minimum lineal frontage setback from the edge of each store unit	Length max. 60% of storefront; area no more than 1 sq ft for each lineal foot of building frontage; no signs on decorative architectural features; nonconforming monument & roof signs to be removed by 5/1/96	NA	NA	NA



VILLAGE OF KEY BISCAYNE

Department of Building, Zoning and Planning
88 West McIntyre Street, Suite 250 Key Biscayne, FL 33149
Phone (305) 365-5512 Fax (305) 365-5556
www.keybiscayne.fl.gov

PLANNING AND ZONING APPLICATION

Date Filed: 3-6-13

File #: SP-22
(to be completed by Staff)

1. REQUEST FOR:

- () SUPERVISORY VARIANCE
() ADMINISTRATIVE VARIANCE
() REGULATORY VARIANCE
() APPEAL OF AN ADMINISTRATIVE DECISION
(x) SITE PLAN APPROVAL
() UNUSUAL USE
() OTHER
() AMENDMENT TO ZONING ORDINANCE
() SPECIAL EXCEPTION
() AMENDMENT TO THE COMPREHENSIVE PLAN
() ZONING DISTRICT CHANGE

Explain your request:

Site plan approval for a 10,000 sf pharmacy with a 2,628 sf mezzanine, 1,930 sf liquor store and a future building.

2. Street Address of Property: 12, 22, & 24 Crandon Boulevard

Legal Description: Lot(s) Block

Subdivision: Matheson Estates

3. Name of Applicant: Morgan Property Group

Mailing Address of Applicant: c/o Neisen O. Kasdin, Esq.

1 SE 3rd Avenue, Suite 2500, Miami, Florida 33131

Business Telephone: (305) 982.5629 Home Telephone:

Fax: (305) 374.5095 Email: neisen.kasdin@akerman.com

4. Name of Property Owner if Different from Applicant: Key Biscayne Gateway Partners, LTD

Address of Property Owner if Different from Applicant: 30 West Mashta Drive, Suite 400
Key Biscayne, FL 33149

Business Telephone: (305) 365.2600 Home Telephone: (305) 710.9289

Fax: (305) 365.0800 Email: maxp@commodorerealty.com

5. Contact Person: Name Neisen O. Kasdin, Esq.

Address 1 SE 3rd Avenue, Suite 2500, Miami, Florida 33131

Telephone: (305) 982.5629 Fax: (305) 374.5095

6. Name/address of anyone else who should receive notice of the hearing?

Max D. Puyanic, Key Biscayne Gateway Partners, LTD, 30 W. Mashta Dr., Suite 400, Key Biscayne, FL 33149
Mario Garcia-Serra, Esq., Greenberg Traurig, PA, 333 S.E. 2nd Avenue, Miami, FL 33131

7. If applicant is owner, indicate date purchased: _____

8. If applicant is lessee, indicate date leased _____ Years _____

9. Is there an option to purchase the property? Yes () No (x)

10. Is the request the result of a violation notice? NO If yes, attach a copy of the violation.

11. Existing use of property Restaurant. If residential, how many apartments _____?

hotel units _____? If commercial, how many sq. ft. in your space 15,551?

Single family home? Yes () No (x)

12. If this application pertains to an Appeal of an Administrative Decision, indicate the basis of the appeal. (If necessary attach additional explanation)

N/A

13. If this is a request for a variance, the Code requires that you substantiate why this request should be granted. In order to do this properly, please indicate how your request complies with the following standards:

- a. Maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community.

N/A

b. Is compatible with the surrounding land uses and would not be detrimental to the community.

N/A

14. If this is a request for any other type of application, please see staff for a listing of the evaluation criteria.

15. All supporting data and exhibits submitted with this application become a permanent part of the public records.

16. If you are a lobbyist as described in the Village Code, please contact the Village Clerk at (305) 365-5506.

SUPERVISORY VARIANCES ONLY

The Supervisory procedure requires the nearest abutting property owner to approve your request and your certification that the work was not performed by you. Your signature on this application constitutes your certification that you did not perform the work. The next step is to request the nearest property owner to sign below or provide a letter approving your request. Their signature certifies that they have read this application and approves of the request.

ABUTTING PROPERTY OWNER AFFIDAVIT

I, the undersigned, have read or have had read to me the information applicable for a request for a Supervisory Variance from the Zoning Regulations. I fully understand that by subscribing my name to the below consent form that I am waiving any objection to the proposed construction as outlined above and as shown on the plans accompanying this application. I further certify that I have subscribed my name freely and without any duress or apparent misrepresentation on the part of the applicant.

Date	Name (Type or Print)	Address	Signature
------	----------------------	---------	-----------

ADMINISTRATIVE VARIANCES ONLY

The Administrative Variance procedures require all abutting property owners to approve your request. The attached map will assist you in identifying who must sign the below petition. It is suggested you meet with staff prior to circulating your petition.

ABUTTING PROPERTY OWNER AFFIDAVIT

I, the undersigned, have read or have had read to me the information applicable for a request for and Administrative Variance from the Zoning Regulations. I fully understand that by subscribing my name to the below consent form that I am waiving any objection to the proposed construction as outlined above and as shown on the plans accompanying this application. I further certify that I have subscribed my name freely and without any duress or apparent misrepresentation on the part of the applicant.

Date	Name (Type or Print)	Address	Signature
------	----------------------	---------	-----------

Date	Name (Type or Print)	Address	Signature
------	----------------------	---------	-----------

Date	Name (Type or Print)	Address	Signature
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Date Name (Type or Print) Address Signature

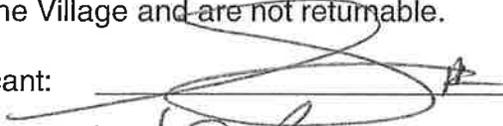
Date Name (Type or Print) Address Signature

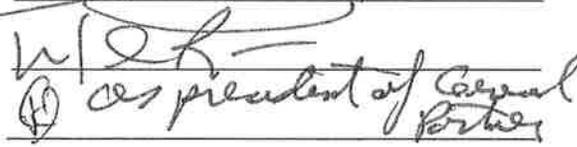
Date Name (Type or Print) Address Signature

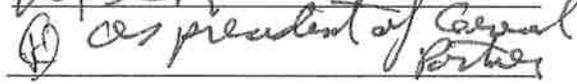
If you need additional signatures please use the above format.

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

(I) (We) certify that (I) (we) understand and will comply with the provisions and regulations of the Zoning Regulations. (I) (we) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my) (our) knowledge. (I) (we) understand that the application and attachments become part of the official records of the Village and are not returnable.

Signature of Applicant:  Date 3/6/13

Signature of Owner:  Date _____

Application Received by:  Date 3-6-13

Approved by: _____ Date _____

AFFIDAVITS

Complete one or more of the following that relates to your request.

Tenant or Owner Affidavit (if tenant is applicant then owner must sign owner/power of attorney affidavit)

I, _____, being first duly sworn, depose and say that I am the owner/tenant of the property described herein and which is the subject matter of the proposed hearing; that all the answers to the questions in this application and all supplemental data attached to and made a part of the application are honest and true to the best of my knowledge and belief.

I, _____, hereby authorize the staff of the Village of Key Biscayne to enter my property for the purpose of inspecting the property and posting a NOTICE OF PUBLIC HEARING on my property and I take the responsibility of removing this notice after the date of hearing. I also authorize members of the Village Council to inspect my property. I understand these inspections are necessary to permit staff and members of the Village Council to perform their responsibilities as required by the Zoning Ordinance.

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

Signature of Applicant

Sworn to (or affirmed) and subscribed before me this
____ day of _____, by _____
Name of person making statement

Signature of Notary Public - State of Florida

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known _____ OR Produced Identification _____
Type of Identification Produced _____

Corporation Affidavit

General Partner of the aforesaid limited partnership

I, Max D. Puyanic, being first duly sworn, depose and say that ~~we are~~ ^{I am} the President/Vice President, and Secretary/Ass't. Secretary of the aforesaid corporation, and as such, have been authorized by the corporation to file this application and all supplemental data attached to and made a part of this application are honest and true to the best of our knowledge and belief; that said corporation is the owner/tenant of the property described herein and which is the subject matter of the proposed hearing. ~~limited partnership~~

I, Max D. Puyanic, hereby authorize the staff of the Village of Key Biscayne to enter my property for the purpose of inspecting the property and posting a NOTICE OF PUBLIC HEARING on my property and I take the responsibility of removing this notice after the date of hearing. I also authorize members of the Village Council to inspect my property. I understand these inspections are necessary to permit staff and members of the Village Council to perform their responsibilities as required by the Zoning Ordinance.

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

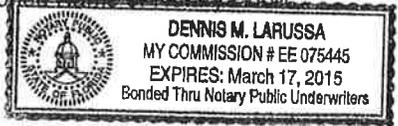
WGB
Signature of President (Corp. Seal)

Sworn to (or affirmed) and subscribed before me this
6th day of March 2013, by MAX D. PUYANIC
Name of person making statement

Dennis M. Larussa
Signature of Notary Public - State of Florida

Dennis M. Larussa
Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known OR Produced Identification NIA
Type of Identification Produced NIA - Known



President of the General Partner of
the Limited Partnership which owns

Owner/Power of Attorney Affidavit

I, Max D. Puyanik, being duly sworn, depose and say that I am the ~~owner~~ of the described real property and that I am aware of the nature and effect the request for: Site plan approval

relative to my property, which is hereby made by me OR I am here by authorizing Neisen Kasdin to be my legal representative before the Village Council.

I, Max D. Puyanik, hereby authorize the staff of the Village of Key Biscayne to enter my property for the purpose of inspecting the property and posting a NOTICE OF PUBLIC HEARING on my property and I take the responsibility of removing this notice after the date of hearing. I also authorize members of the Village Council to inspect my property. I understand these inspections are necessary to permit staff and members of the Village Council to perform their responsibilities as required by the Zoning Ordinance.

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

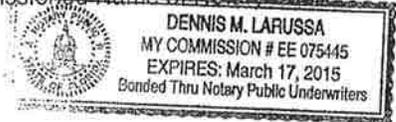
[Signature]
Signature of President (Corp. Seal)

Sworn to (or affirmed) and subscribed before me this
6th day of March 2013, by MAX D. PUYANIK.
Name of person making statement

[Signature]
Signature of Notary Public - State of Florida
Dennis M. LaRussa

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known OR Produced Identification N/A
Type of Identification Produced N/A - Known





VILLAGE OF KEY BISCAYNE

Department of Building, Zoning and Planning

Village Council

Franklin H. Caplan, *Mayor*
Mayra P. Lindsay, *Vice Mayor*
Michael W. Davey
Theodore J. Holloway
Michael E. Kelly
Ed London
James S. Taintor

Director

Jud Kurlancheek, AICP

Chief Building Official

Eugenio M. Santiago, P.E., CFM

March 20, 2013

Neisen Kasdin
Akerman Senterfitt
One Southeast Third Avenue
Suite 2500
Miami, FL 33131-1714

Re: Site Plan and Conditional Use Applications: 12, 22, and 24 Crandon Boulevard

Dear Mr. Kasdin:

On March 6, 2013, the Village Building, Zoning and Planning Department received the submittal of a site plan and conditional use applications for property located at 12, 22, and 24 Crandon Boulevard. After review, the Village staff has determined that the applications are not "complete." In order for the Village staff to process the applications and determine them to be complete please provide the following:

1. Site Plan Application

- Existing site characteristics map.
 - A certified property survey showing existing site characteristics is required to be submitted, including existing utility lines and easements. The surveyor notes provide that this survey was prepared without the benefit of a title search and there may be additional restrictions and easements. A preliminary review reveals that a parking easement is not mentioned on the survey.
 - Please provide an updated certified survey meeting all of the requirements of Section 30-73(f)(1) of the Village Code.

- Site Development plan.

- The Site development plan is required to show all driveways. The site plan shows two driveways that connect to 51 Harbor Drive: (1) a south driveway that connects to a driveway on 51 Harbor Drive through the parking lot and to Harbor Drive; and (2) a north driveway indicated as one way entering the property at 12, 22, 24 Crandon Blvd. This driveway connects to an alley on the north and west at 51 Harbor Drive. Given that the site plan proposes to have access through driveways on 51 Harbor Drive this property is required to be a part of the site plan. Therefore, please include this property and the property owner as a part of this application.
- The distance of existing buildings on adjacent properties from property line are required to be shown. Please show the existing building on 51 Harbor Drive.
- All proposed utility lines and easements are required to be shown. Please show all proposed utility lines and easements.
- Please provide an updated site development plan meeting all of the requirements of Section 30-73(f)(2) of the Village Code.

- Landscape plan.

- The method of irrigation, as required, has not been submitted. Please submit.
- Please provide an updated site development plan meeting all of the requirements of Section 30-73(f)(3) of the Village Code.

- Architectural plan

- A scale drawing clearly illustrating the building foot-prints, proposed floor plans and elevations, including height, dimensions and color is required. The site plan indicates there is a mezzanine but the floor plan is not shown. The floor plan for the main floor is not dimensioned. The submission does not include an exterior paint chart for the exterior of the building. The rendering is not sufficient as it does not specify the colors. Please submit an updated plan meeting the requirements provided above.
- The Village Code requires that the proposed location and elevations of signs, including height, dimensions, setbacks, construction material and color be shown. The signage plan does not include dimensions, heights,

colors, or construction materials. Please provide a signage plan that meets the requirements provided above.

- Please provide an updated architectural plan meeting all of the requirements of Section 30-73(f)(4) of the Village Code.

- Tabular summary.

- Total gross project acreage and net buildable land area is required to be shown. The site plan shows an area called "Future Building Area." This area is not dimensioned on the site plan. This area should be separated into a separate category on the tabular summary labeled "Site Data."
- Please provide an updated tabular summary meeting all of the requirements of Section 30-73(f)(5) of the Village Code.

- Drainage plan.

- Paving and drainage plans are required to meet specific requirements provided for within the Village Code. The "Conceptual Paving, Grading, and Drainage Plan submitted does not meet the minimum Village Code requirements including providing sufficient elevations and calculations to show retention of storm water on the site. There are no calculations to show retention of runoff on the property. Please update the drainage plan to meet this requirement.
- Please provide an updated drainage plan meeting all of the requirements of Section 30-73(f)(6) of the Village Code.

- Site Plan Application.

- The application provides that the name of the applicant is Morgan Property Group. As provided in the application, Morgan Property Group is not the property owner. Please have Morgan Property Group sign the appropriate affidavit(s) in the application. In addition, if the driveways on 51 Harbor Drive continue to be utilized please have the property owner execute the application and related documents.

- Optional Information Required.

- The Village Code provides that certain optional information may be required, if deemed necessary by the Building, Zoning, and Planning Director. As Director, I believe the following information is required to be submitted: (1) A map reflecting the general character and relationship of surrounding properties given the access driveways through 51 Harbor Drive. See. Section 30-73(f)(9)(a) of the Village Code; (2) The intended

progressive stages or phasing of development given the site plan provides for "future building area." See, Section 30-73(f)(9)(c) of the Village Code. In the event the future building area is not a part of the site plan then please label it "not a part;" and (3) Please provide any studies regarding the environmental impact on the property from the adjacent gas station. See, Section 30-73(f)(9)(e) of the Village Code.

2. Conditional Use

- Condition Use Application.
 - The application provides that the name of the applicant is Morgan Property Group. As provided in the application, Morgan Property Group is not the property owner. Please have Morgan Property Group sign the appropriate affidavit(s) in the application. In addition, if the driveways on 51 Harbor Drive continue to be utilized please have the property owner execute the application and related documents.

The Village staff will commence its formal review of the applications once the required application requirements have been submitted, the applications have been deemed complete and after the Village Attorney determines the applications to be legally sufficient. With that being said, Village staff has conducted a preliminary review of the applications. We encourage you and your client to meet with staff prior to re-submittal as this may help to expedite the formal review of the applications.

If you have any questions or concerns please feel free to contact me.

Sincerely,



Jud Kurlancheek, AICP, Director



VILLAGE OF KEY BISCAINE

Department of Building, Zoning and Planning

Village Council

Franklin H. Caplan, *Mayor*
Mayra P. Lindsay, *Vice Mayor*
Michael W. Davey
Theodore J. Holloway
Michael E. Kelly
Ed London
James S. Taintor

Director

Jud Kurlancheek, AICP

Chief Building Official

Eugenio M. Santiago, P.E., CFM

April 8, 2013

Neisen Kasdin
Akerman Senterfit
One Southeast Third Avenue, Suite 2500
Miami, FL 33131-1714

Re: Site Plan and Conditional Use Applications: 12-22-24 Crandon Boulevard

Dear Mr. Kasdin:

Thank you for meeting with us on April 4, 2013 to review your application for site plan and conditional use approval on property located at 12-22-24 Crandon Boulevard (the "Property"). During the course of the meeting, we discussed the relationship between the Property and the adjacent 51 Harbor Drive property (the "51 Harbor Property"). In lieu of including the 51 Harbor Drive Property as a part of the site plan, you proposed a cross access agreement that would allow patrons of the Property to have ingress and egress access through the 51 Harbor Drive Property to Harbor Drive. The Department agrees that such a cross access agreement is necessary given the proposed layout of the site plan.

However, in addition to the proposed cross access agreement, it is the determination of the Department that the 51 Harbor Drive Property must be included as a part of the site plan as the driveway from Harbor Drive to the Property is an integral part of the ingress and egress access to and from the proposed development. Therefore, as proposed, the Property and the 51 Harbor Drive Property are to be considered a part of one site plan and the owners of these properties must execute the appropriate affidavit(s) and application(s).

In addition, as discussed at the aforementioned meeting, Sec. 30-110(a)(2) of the Village Zoning and Land Development Regulations require that "no individual or multiple business entity(s) shall occupy more than 10,000 sq. ft. except for stores whose principal product is food for consumption off the premises". It is the determination of the Department that the Walgreens Pharmacy and the Liquor store, as proposed, occupy

one building and said building exceeds the 10,000 sq. ft. limitation. Please amend the site plan application to comply with this requirement.

If you have any questions, please contact me.

Sincerely,

A handwritten signature in cursive script that reads "Jud Kurlancheek".

Jud Kurlancheek, AICP, Director



VILLAGE OF KEY BISCAYNE

Department of Building, Zoning and Planning

Village Council

Franklin H. Caplan, *Mayor*
Mayra P. Lindsay, *1st Vice Mayor*
Michael W. Davey
Theodore J. Holloway
Michael E. Kelly
Ed London
James S. Taintor

Director

Jud Kurlancheck, AICP

Chief Building Official

Eugenio M. Santiago, P.E., CFM

April 26, 2013

Neisen O. Kasdin, Esq.
Akerman Senterfitt
One Southeast Third Avenue
Suite 2500
Miami, Florida 33131-1714

Re: 12, 22 and 24 Crandon Boulevard

Dear Mr. Kasdin,

I am in receipt of your April 19, 2013 letter together with the enclosed materials. While several of the items have been responded to sufficiently, two principle and fundamental problems with the application remain unresolved. From a review of the proposed site plan as well as the proposed cross access agreement, it is clearly apparent that the owners/developers/tenant intends to use the shopping center at 51/99 Harbor Drive as a principle means of ingress and egress to and from the proposed development. Moreover, the proposed cross access agreement grants the owner of the adjacent property rights and ingress and egress through and across the subject property to and from Crandon Boulevard. If your client intends to utilize adjacent properties as part of the driveway system for the development as a means of ingress and egress to Harbor Drive, the adjacent property must be included as part of the land submitted for site plan approval.

The other significant issue addressed in your letter but not adequately responded to relates to the 10,000 square foot occupancy limitation. It is quite apparent from the site plan and the documentation provided that the proposed Walgreens intends to occupy more than 10,000 square feet within the proposed building. This is precluded by the plain reading of the regulations and requires no special interpretation or examination of the intent of the ordinance. New plan must be modified to reflect occupancy of no greater than 10,000 square feet.

In addition, please provide a signed and sealed survey and a legend on sheet C-1 "Site Plan" explaining the symbols (E, S, T, and W) for the easements.

Except as provided above, I believe that the materials you have provided adequately address the issues set forth in my March 20, 2013 letter. As soon as the plans and application have been modified to address the issues discussed above, my office will be in a position to move forward with the processing and substantive analysis of the applications. If you have any further questions or concerns, please do not hesitate contact me.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Jud Kurlancheek".

Jud Kurlancheek, AICP, Director



Neisen O. Kasdin

Akerman Senterfitt
One Southeast Third Avenue
Suite 2500
Miami, FL 33131-1714
Tel: 305.374.5600
Fax: 305.374.5095

August 27, 2013

Via Electronic Mail

Mr. Jud Kurlancheek, AICP
Director, Department of Building, Zoning, and Planning
Village of Key Biscayne
88 West McIntyre Street, Suite 250
Key Biscayne, FL 33149

Re: Appeal of Administrative Decision (Application No. AP13-01)
Notice of Withdrawal of Appeal

Dear Mr. Kurlancheek:

Our firm represents Morgan Property Group ("Applicant") in the appeal of administrative decisions rendered on April 26, 2013 by the Village of Key Biscayne in connection with applications for site plan approval ("Application No. SP-22") for the proposed redevelopment of the property located at 12, 22 & 24 Crandon Boulevard and for conditional use approval ("Application No. CU-04") for a retail package wine and liquor store, originally submitted on March 6, 2013.

Based on the agreement entered into today, August 27, 2013, resolving the two (2) issues on appeal, the Applicant hereby withdraws its appeal from consideration by the Village Council.

We look forward to your timely review of the site plan and conditional use applications and the scheduling of the applications for a hearing for consideration of approval by the Village Council.

Sincerely,

Neisen O. Kasdin

cc: John Gilbert, Village Manager
Conchita Alvarez, Village Clerk
Stephen Helfman, Esq., Village Attorney
Chad Friedman, Esq., Assistant Village Attorney
Steven Wernick, Esq., Akerman Senterfitt
Max Puyanic, Key Biscayne Gateway Partners, Ltd.
Trey Morgan, Morgan Property Group

akerman.com

12-22-24 Crandon Blvd. Technical Zoning Review Comments (09/20/13, WGF)

1. On Site Plan Sh. C-1, Floor Plan Sh. A1.11, and any sheet that references the mezzanine, change "Mezzanine" to "Mezzanine Storage", both in plans and tabulations.
2. Show boundary line of the 8,971 sq. ft. Future Building Area on the Site Plan C-1.
3. Provide sq ft area on Site Plan of the Future Building Area on C-1.
4. Show surface material of the Future Building Area, i.e. sod.
5. Fill in texture along the north side pharmacy wall currently showing a void which could indicate a pass through window on all applicable plans, i.e. C-1, C-2, C-3, A1.11, L-1.
6. Label edging for the dead end of the parking lot adjacent to the Future Building Area on C-1 – Type D curb?
7. Per the Grading & Drainage Plan, Sheet C-2, runoff from 51 Harbor Drive is coming into the 12-22-24 Crandon Blvd. property at the west perimeter. Provide drainage divides to block runoff from 51 Harbor Drive.
8. At the north perimeter of 12-22-24 Crandon Blvd., the grade drops as much as 2.5' into the Calusa Park mangroves. Provide retention wall & detail, or lower grades and provide a divide as necessary to eliminate need for a retaining wall.
9. Staff has observed a pipe along the rear property line appearing to drain into mangroves in Calusa Park. If this is the case, it should be removed & noted on plans.
10. Note that all parking spaces are to be numbered with min. 6" painted numerals on Pavement Marking Plan Sh. C-3.
11. Provide a note stating that all areas of the site will be fully irrigated.
12. The Crandon Boulevard Master Plan establishes the street tree as Live Oak and the Village Landscape Code requires a minimum 14 ft. height, 2.5' trunk caliper and 7 ft. diameter of canopy, planted 30' on center. Frontage length is 281 linear ft. requiring a total of 10 street trees.
13. On Landscape Plan Sh. LP-1 tabulations, calculation for total trees required for site, interior parking and perimeter = 62 is correct. However, according to Plant Schedule, 20 trees (18 shade trees and 6 palms at 3:1 substitution ratio), meeting Village Landscape requirements have been provided. Additional trees specified are either of insufficient size or not in the shade tree category. Ligustrum, Crape Myrtle, and Tamarind shown adjacent to parking at south and west perimeters are not shade trees as required. Substitute with shade trees unless there is a conflict with adjacent lot trees. Adjustments for this may be made at Site Plan review.
14. On Landscape Plan Sh. LP-1, required shrub count is miscalculated. Change to 430 required, i.e. total trees (10 required street trees + 33 required lot trees) x 10. Then add 287 shrubs to the lot as only 143 out of proposed shrubs in Plant List qualify (40 VIB & 103 HAM; 153 ILX in lot are not required 24" height). Other shrubs in Plant List are the perimeter shrubs and right of way shrubs, required in excess of the lot shrubs.
15. Provide any traffic analysis, customer point of origin studies, or projected customer counts to the drugstore and liquor store.

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16. Provide detail of the bike racks.

17. As set forth in Mr. Kurlancheek's September 17, 2013 (2:47 PM email), the aerial photo is not a site plan. Please submit a site plan pursuant to Section 30-73(f)(2). The site plan shall include the property at 51 Harbor Drive.

Because the site will contain two retail stores, service establishments, or any other business, it is considered a shopping center. Section 30-197(a) requires a written statement of the uniform sign graphics that will be used for the shopping center. Sheets A2.11 and A2.13 are the sheets showing signs for the shopping center. Please confirm that the letter style, font, height, and color will also be used when the out parcel is developed.

When the revised sheets are submitted and approved by the Planning & Zoning Department, we will then commence our review of your conditional use and site plan applications in addition to your proposed uniform sign program.