

FORCARI
Permit # B03-0275T

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077
Expires December 31, 2005

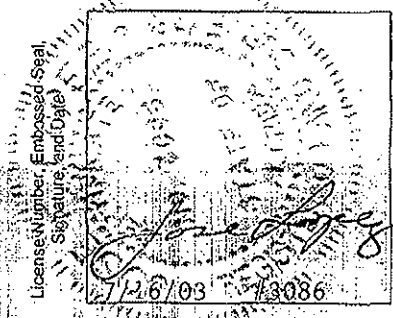
ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION			For Insurance Company Use:	
BUILDING OWNER'S NAME			Policy Number	
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 770 Myrtlewood Lane			Company NAIC Number	
CITY Key Biscayne	STATE FL	ZIP CODE 33149		
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 8, Block 11, P.B. 50-61				
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) Residential				
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ###.###" or ###.####")		HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983		SOURCE: <input type="checkbox"/> GPS (Type); <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other.

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Town of Key Biscayne 120648	B2. COUNTY NAME Miami-Dade County	B3. STATE FL			
B4. MAP AND PANEL NUMBER 12025C 0281	B5. SUFFIX J	B6. FIRM INDEX DATE 7/17/95	B7. FIRM PANEL EFFECTIVE/REVISED DATE 03/02/94	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 10.00'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe):					
B11. Indicate the elevation datum used for the BFE in B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe):					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input checked="" type="checkbox"/> Building Under Construction* <input type="checkbox"/> Finished Construction* *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)	
C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, ARIA, ARIA/E, AR/A1-A30, AR/AH, AR/AO Complete items C3-a-i below according to the building diagram specified in item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion. Datum <u>NGVD</u> Conversion/Comments	
Elevation reference mark used <u>M114</u> . Does the elevation reference mark used appear on the FIRM? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
o a) Top of bottom floor (including basement or enclosure)	<u>10.00</u> ft.(m)
o b) Top of next higher floor	<u>N/A</u> ft.(m)
o c) Bottom of lowest horizontal structural member (V zones only)	<u>N/A</u> ft.(m)
o d) Attached garage (top of slab)	<u>N/A</u> ft.(m)
o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area)	<u>N/A</u> ft.(m)
o f) Lowest adjacent (finished) grade (LAG)	<u>5.00</u> ft.(m)
o g) Highest adjacent (finished) grade (HAG)	<u>5.10</u> ft.(m)
o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade <u>N/A</u>	
o i) Total area of all permanent openings (flood vents) in C3-h <u>N/A</u> sq. in. (sq. cm)	



SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
CERTIFIER'S NAME JOSE F. LOPEZ		LICENSE NUMBER #3086	
TITLE LAND SURVEYOR & MAPPER		COMPANY NAME J. F. LOPEZ & ASSOCIATES, INC.	
ADDRESS 7900 NW 155TH STREET, SUITE 104	CITY MIAMI LAKES	STATE FL	ZIP CODE 33016
SIGNATURE <i>Jose Lopez</i>	DATE 07/16/03	TELEPHONE (305) 828-2725	

IMPORTANT: In these spaces, copy the corresponding information from Section A.

For Insurance Company Use:

BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.

Policy Number

770 Myrtlewood Lane

CITY
Key Biscayne

STATE
FL

ZIP CODE
33149

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

HIGHEST CROWN OF ROAD ELEVATION IN FRONT OF PROPERTY: 4.98 FEET, NGVD

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

E1. Building Diagram Number (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

E2. The top of the bottom floor (including basement or enclosure) of the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).

E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is ___ ft.(m) ___ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.

E4. The top of the platform of machinery and/or equipment servicing the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).

E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?
 Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, C, and E are correct to the best of my knowledge.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS

CITY

STATE

ZIP CODE

SIGNATURE

DATE

TELEPHONE

COMMENTS

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is:

___ ft.(m)

Datum:

G9. BFE or (in Zone AO) depth of flooding at the building site is:

___ ft.(m)

Datum:

LOCAL OFFICIAL'S NAME

TITLE

COMMUNITY NAME

TELEPHONE

SIGNATURE

DATE

COMMENTS

Check here if attachments

FLOOR PLAN LEGEND	
1	PAINTY CLOSET (CONCRETE & FIBER SHEETS)
2	SHOWER ENCLOSURE (TYPE/DRY SAFETY CLASS CATEGORY 1)
3	SHOWER SEAT (SEE A.F.F. REF. OR MARBLE FINISH)
4	RECESSED ART NOSE (SEE A.F.F. PRE-CAST STONE)
5	ARCH DOOR (SPRING ARCH FROM 6'-0" A.F.F. HEIGHT OF ARCH AT 5'-6" A.F.F.)
6	ELECTRIC WATER HEATER (QUICK RECOVERY/TYPE)
7	ELECTRIC WIRE AND DISCONNECT SWITCH (SEE ELECTRICAL PLANS)
8	ELECTRICAL PANEL (SEE ELECTRICAL PLANS) & 1" TONGUE PANELS
9	ATTIC ACCESS PANEL (ONE HOUR FIRE RATED AT GARAGE) 22" x 36"
10	BASE CABINET 24" DEEP
11	UPPER CABINET 12" DEEP
12	STAIR HAS BEEN DESIGNED IN CONFORMANCE WITH N.E.P.A. 101
13	LAVATORY SINK & TUBS - FACE WALL COATING IS WITH PLASTIC LAMINATE FINISH
14	SHIELD COLUMN COUPLER (SEE A.F.F. REF. OR MARBLE FINISH) AS PER 303.111 S.F.C.
15	DRY BATTERY (1/2") THICK AT 4" HEIGHT FROM FINISH FLOORING (SEE ELECTRICAL PLANS) 22" CROWN MOLDING
16	1 1/2" TYP. FIRE RATED WALL BETWEEN HALL & GARAGE W/ 2" BRICK WALL W/ 1/2" CONCRETE ON GARAGE SIDE. AN 1/2" TYP. FIRE RATED WALL 1/2" ON EACH SIDE.
17	PROVIDE 12" TO 50" HIGHS OF CLEAR VENTILATION WITH WINDSTOP VENT BLOCKS. THE TOTAL REQUIRED EFFECTIVE AREA SHALL BE LOCATED WITHIN 3' OF THE HIGHEST PART OF THE GARAGE FLOOR AS PER 105.1 OF S.F.C.
18	ONE HOUR FIRE RATED CEILING W/ 1 1/2" JOISTS @ 16" O.C. 1 1/2" LAMIN 5/8" THICK 2" CROWN MOLDING 30" CEILING COVERED OR BRASS SHINNED HALF 4" DIA. PAPER TAPE EXPANDED IN DIMENSIONS COMPARED OVER JOISTS EXPOSED WALLS - CEILING COVERED WITH CONFORMED AND VERTICAL ROD BATT INSULATION R-13 TO CONFORM TO TABLE 302 OF S.F.C. #13.16. NO. 1312
19	PROVIDE 24" x 24" x 8' T.I. ANCHORED TO COLUMN AND BEAM W/ 3" CONC. AIR @ 24" O.C. @ 10" FROM TOP AND BOTTOM EDGE
20	ALL PENETRATION OF FIRE RATED ASSEMBLIES SHALL BE PROTECTED WITH "TWO" STEP MIN. 3/4" THICK PLATE SPRING 20. PENETRATE DEPTH OF ORIGINAL REFER TO DETAIL SHEET
21	42" HIGH PRECAST CONCRETE BALUSTERS SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH ANY OPENINGS AS PER 5-2.4.0(2) OF THE LIFE SAFETY CODE, 1994 EDITION
22	1 1/2" DIA. HANDRAILS AT 34" ABOVE FLOOR WITH 1 1/2" CLEARANCE BETWEEN WALL AND RAIL TO CONFORM TO 5-52.4.5
23	42" HIGH PRECAST CONCRETE BALUSTERS SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH ANY OPENINGS AS PER 5-2.4.0(2) OF THE LIFE SAFETY CODE, 1994 EDITION
24	24" x 12" TAPERED PRECAST CONCRETE COLUMN WITH WATCHING BASE
25	14" x 12" TAPERED PRECAST CONCRETE COLUMN WITH WATCHING BASE

EGRESS WINDOW NOTE:

AN EGRESS WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7% OF AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR.
N.E.P.A. 101 21-2.2.2 (5) 1994 EDITION

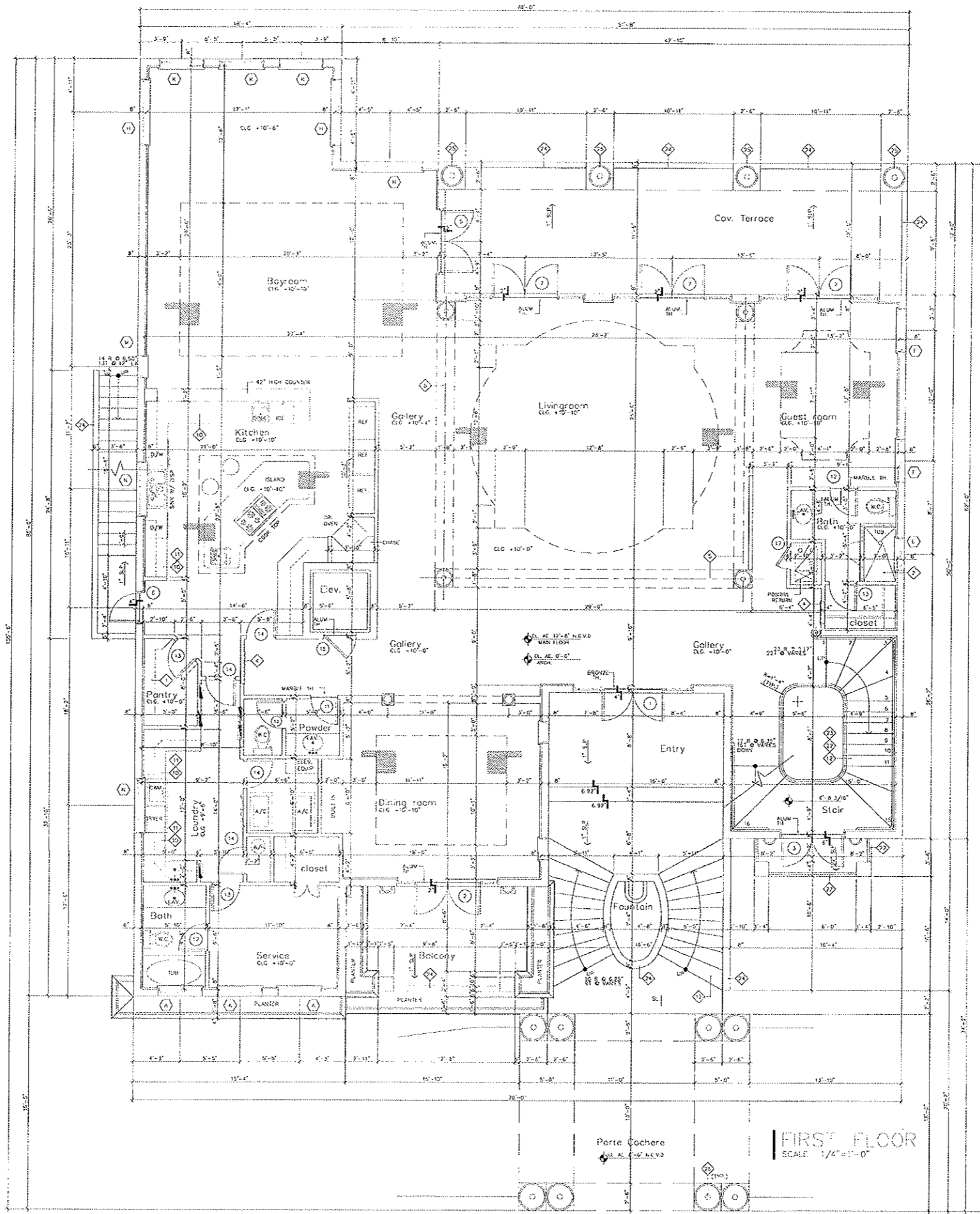
NOTES:

- 1-ALL FINISH FLOORING SHALL BE SELECTED BY OWNER
- 2-EVERY CLOSET DOOR - ARCH SHALL BE THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET (N.E.P.A. 101 21-2.4.1)
- 3-EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED AS PER N.E.P.A. 101 21-2.4.4
- 4-TOP OF CONCRETE SLAB ELEV. +12'-0" N.O.V.D. - ASSUMED ELEV. +12'
- 5-PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM AT ALL FLOORS. PROVIDE SHOP DRAWING FOR ARCHT. APPROVAL. SEPARATED PERMITS REQUIRED.

DOOR SCHEDULE

MARK	W	H	THK	TYPE & MAT.	THRESHOLD	REMARKS
1	22"	108"	2 1/4"	ALUMIN.	BRONZE	22" TRANSOM AT STREET
2		108"		CLAD, FRENCH WOOD	ALUMIN.	SEE NOTE 1
3		96"				SEE NOTE 1
4		66"				
5		72"	108"			30" SILLITE SEE NOTE 1
6		36"	96"			
7		72"	108"			
8			80"			
9		36"	80"	WOOD, BASSID PANEL		WOOD FINISH ON THE DOOR SEE NOTE 1
10				CLAD, FRENCH WOOD		SEE NOTE 1
11		36"	96"	WOOD, BASSID PANEL		SEE NOTE 4
12		32"				
13		30"				
14		32"				
15		36"			BRONZE	ELEVATOR DOOR
16			80"			
17		32"	96"		ALUMIN.	A/C CLOSET DOOR
18		36"				SEE NOTE 1
19	(2) 24"					
20	24"					
21	(1) 78"					
22	84"			ALUMIN. RAISED PANEL		GARAGE DOOR UPRISING
23	60"	80"	2 1/4"	CLAD, FRENCH WOOD		SEE NOTE 1
24	22"					SEE NOTE 1, ARCHTD TOP
25	22"					SEE NOTE 1

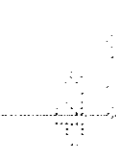
- NOTES:**
- 1- FRENCHING WITH ASTRAHAL AND GLASS TO BE IMPACT RESISTANT, FULL WEATHERSTRIPPING, DEAD TO BOTTOM PER CODE, METAL THRESHOLD
 - 2- FRENCHING FULLY WEATHERSTRIPPED, AUTOMATIC CLOSER, CLAD GARAGE SIDE FOR 1 HR. FIRE RATING
 - 3- FRENCHING, WADING 1/4"



FIRST FLOOR
SCALE: 1/4" = 1'-0"

RESIDENCE FOR:
NIGHT TABLE CORP.
766 HARBOR DRIVE
KEY BISCAYNE, FLORIDA, 33149
OWNER: Mr. & Mrs. DIAZ MELSA
TEL. (305) 365-8055

ANTOLIN CARDENAS
ARCHITECT
1383 S.W. 19 ST. SUITE 100 MIAMI, FL 33133
(305) 387-8855



Antolin Cardenas
8-10-71

DATE: 11-18-70
SCALE: AS SHOWN
BY: [Signature]

DATE: 07/77
SCALE: AS SHOWN
BY: [Signature]

A 3
B