

PROCESS # _____
 FOLIO # 30- _____
 CROWN OF ROAD 4.75 FINGVD

FEDERAL EMERGENCY MANAGEMENT AGENCY
 NATIONAL FLOOD INSURANCE PROGRAM
ELEVATION CERTIFICATE

O.M.B. No. 3067-0077
 Expires December 31, 2005

Important: Read the instructions on pages 1-7.

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:
BUILDING OWNER'S NAME B03-03187 MR. & MRS. LAMELA		Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 715 North Mashta Drive		Company NAIC Number
CITY Key Biscayne	STATE Florida	ZIP CODE 33149
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 3, Block 1, Plat Book 60, Page 93, Miami-Dade County		
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) SINGLE FAMILY		
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ##.####")	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input checked="" type="checkbox"/> Other AUTOMATIC LE

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Key Biscayne 120648		B2. COUNTY NAME Miami-Dade		B3. STATE FLORIDA	
B4. MAP AND PANEL NUMBER 12025C-0281	B5. SUFFIX J	B6. FIRM INDEX DATE 3-2-1994	B7. FIRM PANEL EFFECTIVE/REVISED DATE 7-17-1995	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 10.00

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe): _____
 B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____
 B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No Designation Date _____

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
 Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
 Datum NGVD Conversion/Comments _____
 Elevation reference mark used 28KB Does the elevation reference mark used appear on the FIRM? Yes No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	<u>10.08</u> ft.(m)
<input type="checkbox"/> b) Top of next higher floor	_____ ft.(m)
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	_____ ft.(m)
<input type="checkbox"/> d) Attached garage (top of slab)	<u>6.51</u> ft.(m)
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area)	_____ ft.(m)
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	_____ ft.(m)
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	_____ ft.(m)
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade _____	
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h _____ sq. in. (sq. cm)	

License Number, Embossed Seal, Signature, and Date

PLS 4312
 4/13/2004

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME ROLANDO ORTIZ	LICENSE NUMBER 4312
TITLE PRESIDENT	COMPANY NAME GUNTER GROUP, INC.
ADDRESS 9350 SW 22 ND TERRACE	CITY MIAMI
SIGNATURE 	STATE FLORIDA
	DATE 3/13/2004
	ZIP CODE 33165
	TELEPHONE 305-220-0073

IMPORTANT: In these spaces, copy the corresponding information from Section A.

BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 715 North Mashta Drive			For Insurance Company Use: Policy Number
CITY Key Biscayne	STATE Florida	ZIP CODE 33149	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS TOP OF TIEBEAM ELEVATION: 22.70 FEET.

Check here if attachment

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number _____ (Select the building diagram most similar to the building for which this certificate is being completed – see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is _____ ft.(m) _____ in.(cm) _____ above or _____ below (check one) the highest adjacent grade.
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is _____ ft.(m) _____ in.(cm) above the highest adjacent grade.
- E4. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME			
ADDRESS	CITY	STATE	ZIP CODE
SIGNATURE	DATE	TELEPHONE	
COMMENTS			

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building is: _____ ft.(m) Datum: _____
- G9. BFE or (in Zone AO) depth of flooding at the building site is: _____ ft.(m) Datum: _____

LOCAL OFFICIAL'S NAME EUGENIO M. SANTIAGO	TITLE CHIEF BUILDING OFFICER
COMMUNITY NAME Village of Key Biscayne	TELEPHONE (305) 365-8902
SIGNATURE <i>[Signature]</i>	DATE 5/1/06

COMMENTS REVISED B6 & B7 TO REVISE DATOS IN THOM. ADD C3 e) AT 10.0 FT. ADD C3 f) AT 5.0 FT. ADD C3 g) AT 5.8 FT.

Check here if attachments






SKETCH

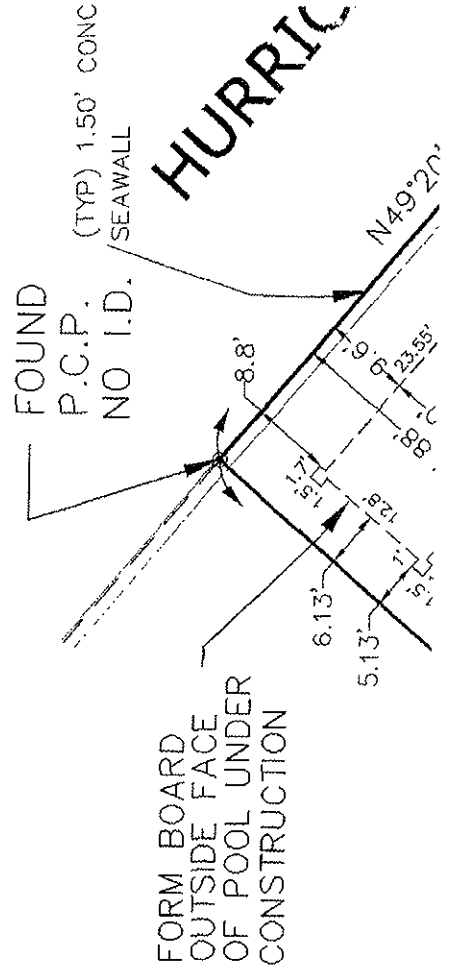
ABBREVIATIONS:

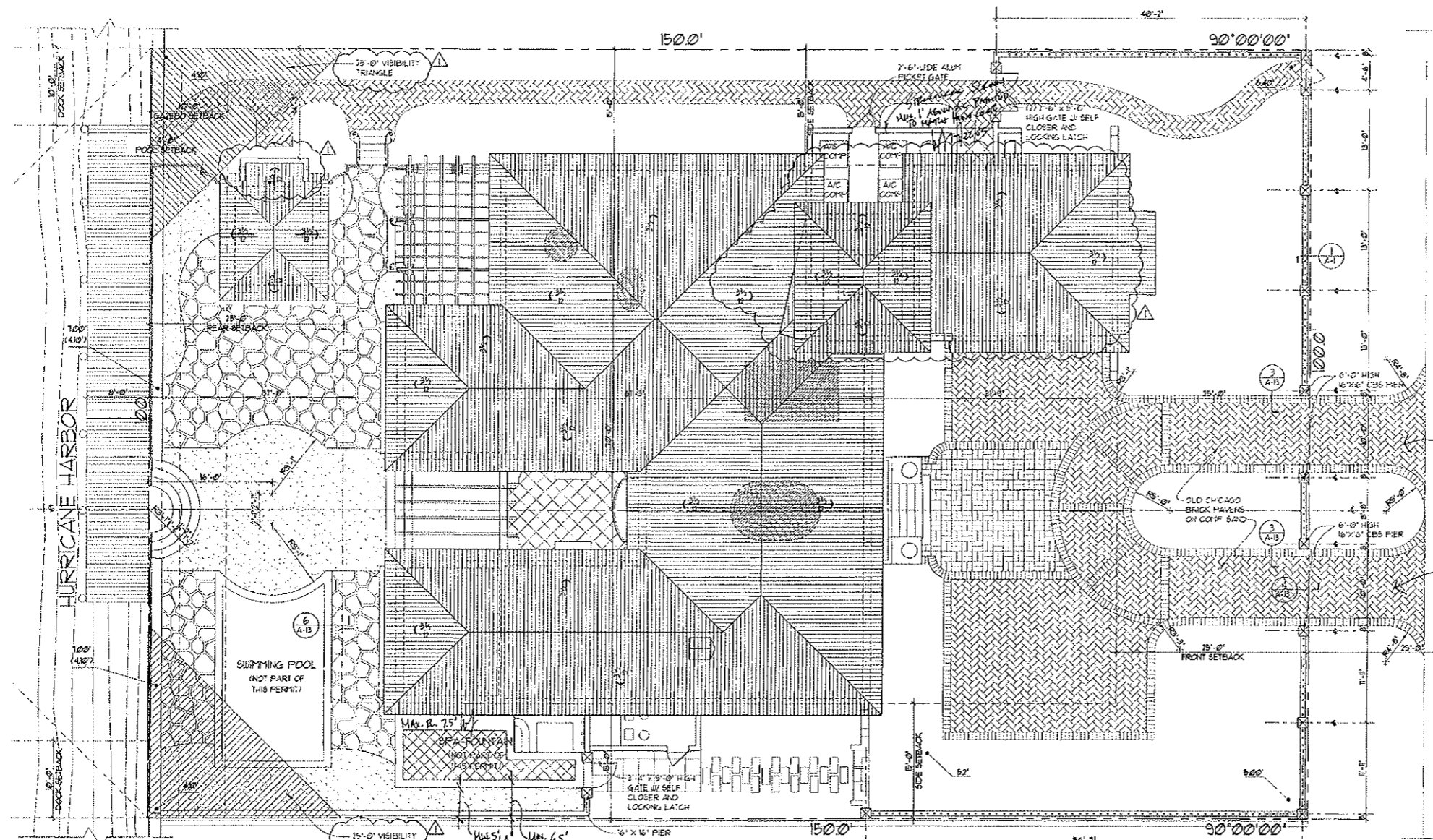
R/W	RIGHT OF WAY
(M)	MEASURED
(R)	RECORD
FIP	FOUND IRON PIPE
FRB	FOUND RE-BAR
FD/H	FOUND DRILL HOLE
F	FOUND
F.F.E.	FINISH FLOOR ELEVATION
I.D.	IDENTIFICATION
F.N.	FOUND NAIL
(TYP)	TYPICAL



LEGEND:

-  - CATCH BASIN
-  - WATER METER
-  - WOOD POWER POLE
-  - ELECTRIC SERVICE BOX
-  - EXISTING ELEVATION



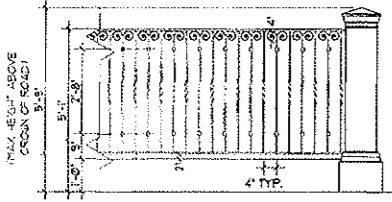


ATTENTION CONTRACTORS
 An elevation certificate for all structural or nonstructural ground floor slabs must be submitted to the Key Biscayne Building, Zoning & Planning Department immediately after installation.

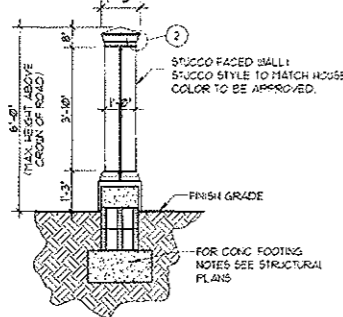
Note: builder shall coordinate exact location of driveway approach w/ existing right-of-way conditions.

No Street Trees To Be Removed Per Public Works Department. *AP for Plan*

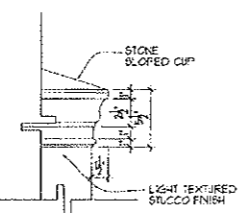
SITE PLAN
 SCALE: 1/8" = 1'-0"



FRONT RAILING DETAIL
 SCALE: 3/16" = 1'-0"



ENTRY WALL SECTION
 SCALE: 3/16" = 1'-0"



DETAIL
 SCALE: 1/2" = 1'-0"

SITE NOTES

- ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
- ALL APPROACHES TO BE COORDINATED WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
- LANDSCAPING SHALL COMPLY WITH ORDINANCE 9815 CHAPTER 2-A OF CODE/FLORIDA LANDSCAPE ORDINANCE.
- NOTE: CROSS HATCHED AREAS DENOTES TREES RECESS FOR COVER. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
- ALL AREA MARKED '800' TO BE SLOPED PER LANDSCAPING PLANS (SEE SHEET L-1).
- TERMITE PROTECTION: ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

AREA TABULATION FOR KEY BISCAYNE

LOT AREA	15,000 SQ. FT.
LOT COVERAGE	MAXIMUM ALLOWED = 35% OF 15,000 SQ. FT. = 5,250 SQ. FT.
AREA PROVIDED	4,610 SQ. FT.
FLOOR AREA RATIO (FAR)	MAXIMUM ALLOWED = 21% OF 15,000 SQ. FT. = 3,150 SQ. FT.
AREA PROVIDED	2,591 SQ. FT.
PERMISSIBLE AREA	MINIMUM ALLOWED = 30% OF 15,000 SQ. FT. = 4,500 SQ. FT.
AREA PROVIDED	7,398 SQ. FT.
PERMISSIBLE AREA	MAXIMUM ALLOWED = 700 SQ. FT.
AREA PROVIDED	720 SQ. FT.

AREA TABULATION

FIRST FLOOR AIC	3,203 SQ. FT.
SECOND FLOOR AIC	3,731 SQ. FT.
TOTAL AIC AREA	6,934 SQ. FT.
GARAGE 587 SQ. FT. @ 10%	59 SQ. FT.
TOTAL ADJUSTED AREA	6,993 SQ. FT.

FLOOR AREA RATIO BONUS CALCULATIONS

BASE FAR FOR ISLAND RESIDENTIAL DISTRICT	0.36	FAR
BONUS LIST:		
1. PORCH FACING A STREET (310 SQ. FT.)	-NO-
2. OPEN BALCONIES (341 SQ. FT.)	-YES-	0.0174
3. BUILDING 7'-10" FRONT	-NO-
4. 2 CAR GARAGE	-YES-	0.0300
5. SINGLE STORY	-NO-
6. CORN. ONE-TWO STORY	-NO-
7. GARAGE ENTRANCE	-YES-	0.0700
8. LOCATION OF WINDLOWS	-NO-
9. SIDE YARD SETBACKS (18 FT.)	-YES-	0.0200
10. BUILDING 15'-10" REAR	-NO-
11. FRONT BUILDING WALLS (1420 SQ. FT.)	-YES-	0.0300
12. REDUCTION IN HEIGHTS	-NO-
TOTAL BONUS	0.1174	
FAR AFTER BONUS (0.36 + 0.1174)	0.4774	0.47 MAX. ALLOW.

AREA TAB. FOR CONSTRUCTION ONLY

FIRST FLOOR AIC	3,203 SQ. FT.
SECOND FLOOR AIC WITHOUT TWO STORY SPACES	3,266 SQ. FT.
TOTAL AIC AREA	6,469 SQ. FT.
GARAGE 587 SQ. FT. @ 10%	59 SQ. FT.
TOTAL ADJUSTED AREA	6,528 SQ. FT.

LEGAL DESCRIPTION

CARPORT, COVERED ENTRY	633 SQ. FT.
COVERED TERRACE 1266 SQ. FT. @ 1/2	100 SQ. FT.
GARAGE 100 SQ. FT. @ 1/2	100 SQ. FT.
TOTAL AREA	7,483 SQ. FT.

- ARCHITECTURAL**
- A-1 SITE PLAN / GENERAL NOTES
 - A-2 FIRST FLOOR PLAN
 - A-3 SECOND FLOOR PLAN
 - A-4 FRONT / REAR ELEVATIONS
 - A-5 SIDE ELEVATIONS
 - A-6 CROSS SECTIONS 'A', 'B'
 - A-7 CROSS SECTIONS 'C', 'D'
 - A-8 CROSS SECTIONS 'E', 'F'
 - A-9 CROSS SECTIONS 'G', 'H'
 - A-10 CROSS SECTION 'I', 'J' & GAZEBO ELEVATIONS
 - A-11 WALL SECTIONS
 - A-12 WALL SECTIONS
 - A-13 DETAILS
 - A-14 DETAILS
 - A-15 SCHEDULES
- LANDSCAPE**
- L-1 HARDSCAPE LAYOUT PLAN
 - L-2 HARDSCAPE DETAILS 1 OF 2
 - L-3 HARDSCAPE DETAILS 2 OF 2
 - L-4 EPA DETAIL
 - L-5 POOL DETAIL
 - L-6 LANDSCAPE PLAN
 - L-7 COURTYARD L6 PLAN
 - L-8 LANDSCAPE DETAILS
 - L-9 LANDSCAPE SPECIFICATIONS
 - L-10 LUMINARY EFFECTS
- STRUCTURAL**
- S-1A FOUNDATION PLAN
 - S-1B GROUND FLOOR PLAN
 - S-2 SECOND FLOOR FRAMING PLAN
 - S-3 ROOF FRAMING PLAN / DETAILS
 - S-4 BEAM SCHEDULES
 - S-5 CONCRETE DETAILS
 - S-6 SECTIONS / SCHEDULES
 - S-7 SECTIONS
 - S-8 SECTIONS
 - S-9 SECTIONS
 - S-10 SECTIONS
 - S-11 SECTIONS
- MECHANICAL**
- M-1 FIRST FLOOR MECHANICAL LAYOUT
 - M-2 SECOND FLOOR MECHANICAL LAYOUT
- ELECTRICAL**
- E-1 SITE ELECTRICAL PLAN
 - E-2 FIRST FLOOR LIGHTING PLAN
 - E-3 SECOND FLOOR LIGHTING PLAN
 - E-4 FIRST FLOOR POWER PLAN
 - E-5 SECOND FLOOR POWER PLAN
 - E-6 PANELS / RISER DIAGRAM
- PLUMBING**
- P-1 SITE PLAN LAYOUT
 - P-2 FIRST FLOOR PLUMBING LAYOUT
 - P-3 SECOND FLOOR PLUMBING LAYOUT

RAMON PACHECO
 architect & planner

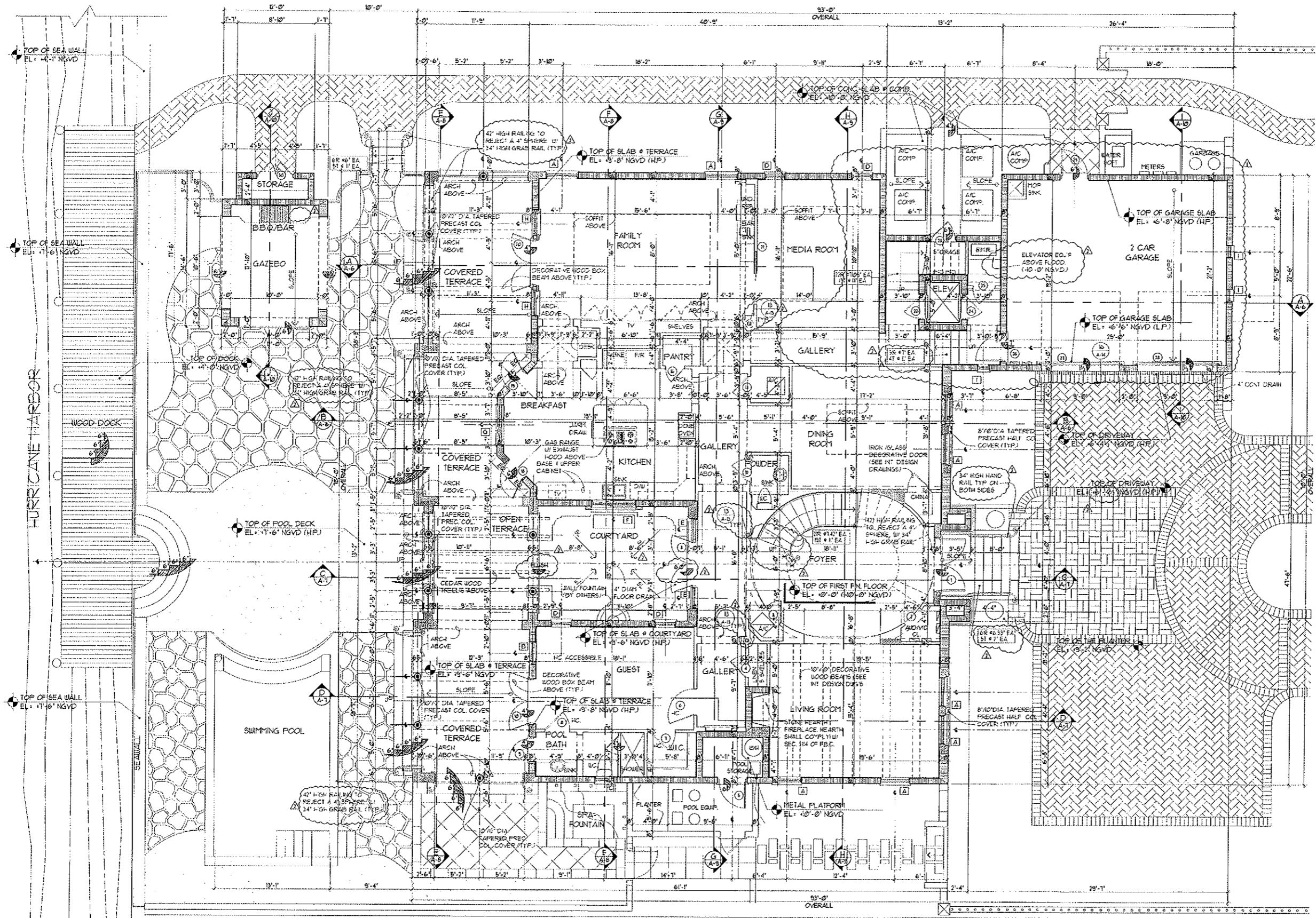
These architectural drawings are prepared by the architect and are not to be construed as a contract. The contractor shall be responsible for obtaining all necessary permits and for the accuracy of the information provided. The architect shall not be responsible for the accuracy of the information provided by the contractor.

MR. & MRS. LUIS LAMELA
 715 N. MASHTA DRIVE
 KEY BISCAYNE

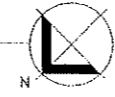
REVISIONS

DATE	ISSUED	BY	REVISIONS
06-3-03			
11-10-03			
11-10-03			
11-10-03			

date issued drawn checked project no. sheet no. 1 OF 15



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



- NOTE: ALL GLASS WINDOWS/DOORS TO RECEIVE IMPACT RESISTANT GLASS AND TO COMPLY ENERGY CALCULATIONS
- NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOWS & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION
- NOTE: FOR CEILING DESIGN AND LAYOUT, SEE REFLECTED CEILING PLANS ON THE INTERIOR DESIGN SET.

GARAGE NOTES:

1. PROVIDE A SIGN THAT READS "DANGER DO NOT OPERATE ENGINE W/ DOOR CLOSED. CAREFULLY MONITOR EMISSION IS LETHAL."
2. WALLS TO RECEIVE SKIM COAT
3. 1 HOUR FIRE RATED CEILING AS PER U.L. 1578 (SEE FIRE-RATED NOTES ON SHEET A-1)
4. PROVIDE 100 SO IN. OF VENT OPENING UNSCREENED LOWER BLOCKS PER F.B.C. (MIN. 1" ABOVE GARAGE FIN FLOOR)

ELEVATOR NOTES:

ELEV. MAIN: SHALL PROVIDE 3/4" COMP. CORR. FOR ARCHITECT'S/ENGINEER'S REVIEW & APPROVAL

SIGN TO BE INSTALLED SHALL READ "IN CASE OF FIRE DO NOT USE ELEVATOR" FACE OF THE INTERIOR DOOR TO BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR

NOTES:

ALL MECHANICAL EQUIPMENT TO HAVE A METAL BASE TO RAISE THE EQUIPMENT TO BASE FLOOD ELEVATION (10'-0" NGVD.)

RAMON PACHECO
 architect & planner
 REGISTRATION # 6412

These architectural drawings are the property of Ramon Pacheco and Associates. They shall not be distributed for any other project without the written permission of Ramon Pacheco and Associates.

RESIDENCE FOR:
Mr & Mrs. LUIS LAMELA
 FLORIDA
 715 N. MASHITA DRIVE
 KEY BISCAYNE
 (305) 569-1820

date	revisions
06-18-03	1-10-03 CORN
	8-22-03 CORN
	11-11-03
	01-02

issued _____
 drawn _____
 checked _____
 project no. _____

Ramon Pacheco
11/13