

Process #
Folio #

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOODS INSURANCE PROGRAM

O.M.B. No. 3067-0077
Expires December 31, 2005

Crown of Road: 4.04 FT N.G.V.D.

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

Amended by MDC-DERM-OCT, 1999

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:
BUILDING OWNER'S NAME GRAND KEY ESTATES III	*SEE BACK 03-6447	Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTED AND BOX NO. 365 GULF ROAD		Company NAIC Number
CITY KEY BISCAIYNE	STATE FL	ZIP CODE 33149
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 9 BLOCK 3 PB 50 PAGE 87 MIAMI-DADE		
BUILDING USE (e.g. Residential, Non-residential, Addition, Accessory, etc. Use Comments section if necessary.) RESIDENTIAL		
LATITUDE/LONGITUDE (OPTIONAL) N/A	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other:

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER KEY BISCAIYNE 120648	B2. COUNTY NAME MIAMI-DADE	B3. STATE Florida
B4. MAP AND PANEL NUMBER 12025C 0281	B5. SUFFIX J	B6. FIRM INDEX DATE 07/17/95
B7. FIRM PANEL EFFECTIVE/REVISED DATE 03/02/94	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATIONS (S) (Zone AO, use depth of flooding) + 9.00 N.G.V.D.

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.

FIS Profile FIRM Community Determined Other (Describe):

B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe):

B12. Is the building located in Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
* A new Elevation Certificate will be required when construction of the building is complete.
- C2. Building Diagram Number 8 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- C3. Elevations - Zones A1-A30, AE, AH, A, A (with BFE), AR, AR/A, AR/A1-A30, AR/AH, AR/AO
Complete Items C3a-1 below, according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion.

Datum N.G.V.D. Conversion/Comments:

Elevation reference mark used # U-313 Does the elevation reference mark used appear on the FIRM? Yes No

- a) Top of bottom floor (including basement or enclosure) 6 . 0 ft. (m)
- b) Top of next higher floor 9 . 10 ft. (m)
- c) Bottom of lowest horizontal structural member (V zones only) N/A . ft. (m)
- d) Attached garage (top of slab) 5 . 90 ft. (m)
- e) Lowest elevation of machinery and/or equipment Servicing the building 9 . 05 FT
- f) Lowest adjacent grade (LAG) 5 . 5 FT
- g) Highest adjacent grade (HAG) 5 . 7 FT
- h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 5
- i) Total area of all permanent openings (flood vents) in C3h 5232 sq. in. (sq. cm)

License Number, Embossed Seal
Signature and Date

Rene Aiguesvives
Rene Aiguesvives
P.S.M. #4327
08/18/05

SECTION D - SURVEYOR, ENGINEER OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.

I certify that the information in Sections A, B, and C on this certificate represent my best efforts to interpret the data available.

I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME RENE AIGUESVIVES LICENSE NUMBER 4327

TITLE PROFESSIONAL LAND SURVEYOR & MAPPER COMPANY NAME ALVAREZ, AIGUESVIVES & ASSOCIATES, INC.

ADDRESS 8226 CORAL WAY SUITE B CITY MIAMI STATE FL 33155

SIGNATURE DATE 08/18/05 TELEPHONE 305-220-2424

IMPORTANT: In these spaces, copy the corresponding information from Section A.		For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTED AND BOX NO.		Policy Number
SAME		
CITY	Company NAIC Number	Company NAIC Number

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

* SECOND FLOOR ELEVATION = 22.15 FEET.

ELEV. OF NORTH WALL IS 5.98 FEET ABOVE CROWN OF ROAD / ELEV. OF SOUTH WALL IS 6.0 FEET ABOVE CROWN OF ROAD.

Check here if attachments

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed – see Pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement enclosure) of the building is ft. (m) in. (cm) above or below (check one) The highest adjacent grade.
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is Ft. (m) in.(cm) above the highest adjacent grade.
The Top of the platform of machinery and/or equipment servicing the building is ft. (m) in.(cm) above of below (check one) the highest adjacent grade. (Use natural grade, if available)
- E4. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community floodplain management ordinance? Yes No Unknown. The local official must certify this information
- E5

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS CITY STATE ZIP CODE

SIGNATURE DATE TELEPHONE

COMMENTS

Check here if attachments

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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G7. This permit has been issued for: New Construction Substantial improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: ft. (m)

Datum:

G9. BFE or (in Zone AO) depth of flooding at the building site is: ft. (m)

Datum:

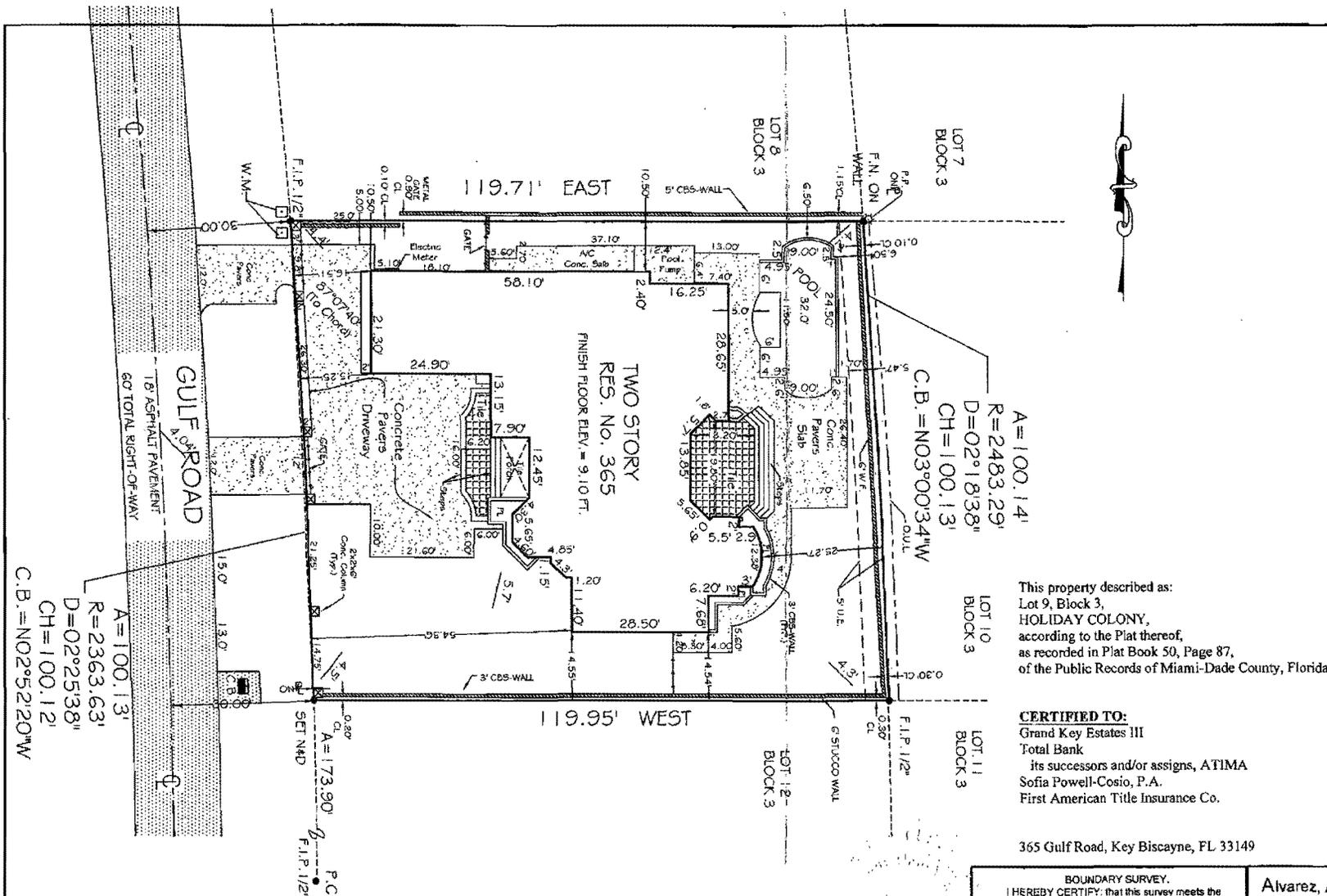
LOCAL OFFICIAL'S NAME TITLE

COMMUNITY NAME TELEPHONE

SIGNATURE DATE

COMMENTS

Check here if attachments



LEGEND

- A = Central Angle
- AC = Arc
- ASPH = Asphalt
- BBQ = Barbecue
- BM = Bench Mark
- CB = Catch basin
- CBS = Concrete Block Structure
- CH = Chord
- Chetta = Chattahoochee
- CL = Center Line
- CLF = Chain Link Fence
- CL = Clear
- Conc. = Concrete
- D = Dead
- Ø = Diameter
- DC = Miami-Dade County
- DH = Drill Hole
- DME = Drainage & Maintenance Easement
- Enc = Encroachment
- F.H. = Fire Hydrant
- F.I.R. = Found Iron Rebar
- FPL = Florida Power & Light
- F.I.P. = Found Iron Pipe
- Fd. = Found
- M = Measured
- ML = Monument Line
- Mon. = Monument
- NA = Not Applicable
- ND = Nail & Disc
- NE = Number
- NTS = Not to Scale
- O/S = Offset
- O.U.L. = Overhead Utility Lines
- OH = Overhang
- P = Plat
- PB = Plat Book
- PC = Point of Control
- PCP = Permanent Control Point
- PG = Page
- P.I. = Point of Intersection
- PKWY = Parkway
- PL = Property Line
- P.L. = Planter
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- P.P. = Power Pole
- P.R.M. = Permanent Reference Monument
- PT = Point of Tangency
- R = Radius
- Res = Residence
- RNG = Range
- R/R = Railroad
- PSM = Professional Surveyor Mapper
- RAW = Right-of-Way
- SWK = Sidewalk
- Sec = Section
- TR = Tract
- (TYP) = Typical
- T = Tangent
- TWP = Township
- U.E. = Utility Easement
- W.F. = Wood Fence
- W.M. = Water Meter

NOTE:

- (a) All calculations and/or measurements shown on this plan were made from the field notes and data provided by the client and are not to be used for any other purpose.
- (b) No identification of monuments or other physical markers was made by the surveyor.
- (c) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (d) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (f) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (g) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (h) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (i) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (j) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (k) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (l) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (m) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (n) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (o) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (p) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (q) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (r) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (s) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (t) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (u) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (v) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (w) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (x) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (y) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.
- (z) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or other hazards.

This property described as:
 Lot 9, Block 3,
 HOLIDAY COLONY,
 according to the Plat thereof,
 as recorded in Plat Book 50, Page 87,
 of the Public Records of Miami-Dade County, Florida.

CERTIFIED TO:
 Grand Key Estates III
 Total Bank
 its successors and/or assigns, ATIMA
 Sofia Powell-Cosio, P.A.
 First American Title Insurance Co.

365 Gulf Road, Key Biscayne, FL 33149

Bearing, if any, shown based on Plat meridian (reference) SOUTH θ WEST

REVISIONS:
 04/23/05 Pool Added.
 08/16/05 Final Survey.
 08/24/05 Revised.
 08/25/05 Revised.

FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX
AE	120648	0261	J
F.I.R.M. DATE	F.I.R.M. INDEX	BASE ELEV.	
03/02/94	07/17/95	+ 9.00 N.G.V.D.	

ELEVATION NOTE: (IF APPLICABLE)
 L.F. Elev = 9.10 (lowest habitable floor elevation)
 Elevation shown hereon refer to N.G.V.D. 1929.
 Lowest adjacent grade elevation = 5.5
 BM # U-313 (Miami-Dade) Elev. = 4.94
 Garage Elev. = 5.92 Etp. = N/A

Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.

BOUNDARY SURVEY.
 I HEREBY CERTIFY: that this survey meets the minimum technical standards as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in chapter 61G17-6 Florida Administrative Code, pursuant to Section 412.027 Florida Statutes.

Alvarez, Aiguesvives and Associates, Inc.
RENE AIGUESVIVES 04/29/05
 PROFESSIONAL SURVEYOR AND MAPPER No. 4327, State of Florida.

Alvarez, Aiguesvives and Associates, Inc.
 Surveyors, Mappers and Land Planners
 8230 Coral Way, Suite B, Miami, FL 33155
 Phone 305.220.2424 Fax 305.552.8181
 L.B. No. 68667 / E-mail: aaasurvey@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
04/27/05	1" = 30'	S.I.	03-6447