

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077
Expires December 31, 2005

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION			For Insurance Company Use:	
BUILDING OWNER'S NAME Chris Hart Nibbrig and Helena Nibbrig			Policy Number	
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 215 BUTTONWOOD DRIVE			Company NAIC Number	
CITY KEY BISCAIYNE	STATE FL	ZIP CODE 33149		
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 28, BLOCK 26 "FOUR ADDITION TO TROPICAL ISLE HOMES SUBDIVISION", PB. 53, PG.39, MIAMI-DADE COUNTY RECORDS				
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) RESIDENTIAL				
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ###.####")		HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983		SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other: _____

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER TOWN OF KEY BISCAIYNE 120648		B2. COUNTY NAME MIAMI-DADE COUNTY		B3. STATE FL	
B4. MAP AND PANEL NUMBER 12025C 0281	B5. SUFFIX J	B6. FIRM INDEX DATE 7/17/95	B7. FIRM PANEL EFFECTIVE/REVISED DATE 03/02/94	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 10.0'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe): _____					
B11. Indicate the elevation datum used for the BFE in B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe): _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

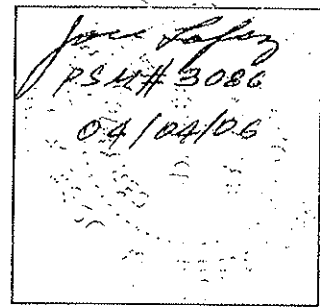
C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 8 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
Datum NGVD Conversion/Comments _____
Elevation reference mark used KB-7 Does the elevation reference mark used appear on the FIRM? Yes No

- o a) Top of bottom floor (including basement or enclosure) 10.40 ft.(m)
- o b) Top of next higher floor 21.30 ft.(m)
- o c) Bottom of lowest horizontal structural member (V zones only) N/A ft.(m)
- o d) Attached garage (top of slab) N/A ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) 9.60 ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 6.30 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 6.60 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade N/A
- o i) Total area of all permanent openings (flood vents) in C3.h N/A sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date



SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME JOSE F. LOPEZ LICENSE NUMBER #3086

TITLE LAND SURVEYOR & MAPPER	COMPANY NAME <u>J. F. LOPEZ & ASSOCIATES, INC.</u>		
ADDRESS <u>7900 NW 155TH STREET, SUITE 104</u>	CITY <u>MIAMI LAKES</u>	STATE <u>FL</u>	ZIP CODE <u>33016</u>
SIGNATURE <u>Jose Lopez</u>	DATE <u>04/04/06</u>	TELEPHONE <u>(305) 828-2725</u>	

ARCHITECT'S NOTE

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, THE STRUCTURAL DESIGN COMPLIES WITH THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE AND ALL DADE COUNTY APP. CODES.

MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

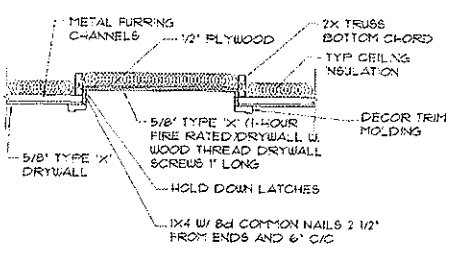
THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HER EMPLOYEE'S NEGLIGENCE, ACTS, ERRORS, OR OMISSIONS.

LEGAL DESCRIPTION:

LOT 36 OF BLOCK 16, SOUTH ADDITION TO "TROPICAL ISLE HOMES SUBDIVISION" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK NO. 33 AT PAGE 39 TO THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL NOTES:

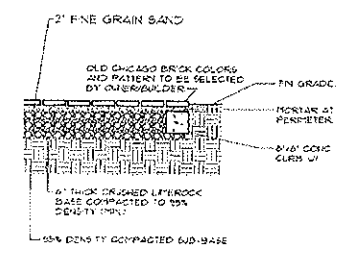
- All wood in contact with masonry or concrete shall be pressure treated.
- Truss manufacturer shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication.
- Truss subcontractor shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication.
- All work to be in full strict accordance and compliance with all codes and agencies having jurisdiction.
- Written dimensions shall take precedence over scaled dimensions.
- Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All orders shall be field verified and the architect shall be notified prior to commencing any work of any discrepancies between prepared drawings and field condition.
- All wood bearing partitions to be one hour fire rated construction.
- Contractor shall stake out in the field all underground utilities known or encountered before beginning excavation.
- Contractor shall coordinate all trades before placing concrete.
- All finished materials shall be class "C" min. Fire spread.
- Partitions to run from floor to underside of slabs. Joists or trusses are to consist of 2x6 studs at 16" o.c. with 1/2" gypsum wallboard both sides J.O.N.
- Concrete at both walls/boards behind sinks, showers, bathtubs, showers, water closets and toilets to be water resistance type.
- Contractor shall coordinate in process of partitions to accommodate mechanical work.
- Lumber used for studs in interior nonbearing partitions shall be of a stress grade not less than 225 PF, nominal extreme fiber stress in bending.
- Contractor shall provide continuous caulk and sealant around all exterior openings to prevent water penetration and air leakage in accordance with FBC.
- General Contractor shall verify with "Food Control Department" in Dade County before starting construction.
- If any discrepancies are found, stop working immediately and notify owner or Architect.



ATTIC ACCESS DETAIL
N.T.S.

SITE INVESTIGATION:

Examination of contract documents and site of work. The bidder is required, before submitting his proposal, to visit the site of the proposed work and familiarize himself with the nature and extent of work and try local conditions that may in any manner affect the work to be done and equipment, materials and labor required therefore. Since the work involves new buildings, systems and facilities, special consideration shall be given to examination of working conditions. New facilities and all building structures to familiarize himself with all existing conditions. Slight variation of routing and/or constructions should be anticipated by the contractor to avoid conflicts with other trasses. These variations are expressly included as part of the work wherever required at no additional cost to the owner. Ignorance on the part of the contractor will in no way relieve him of the obligations and responsibilities assumed under this contract.



BRICK PAVES DETAIL
N.T.S.

FAR CALCULATION

No.	BASE FAR + 30 BONUS PROVIDED	DIMENSION	FAR INCREASE
1	Porch facing a street	0.00005 x 17' 6"	+ 0.006
2	Balconies above 1st floor	0.00005 x 810' 6"	+ 0.03
3	Building located 15-20 ft from front property line	0.001 x 216' 1"	+ 0.021
4	Carport 2 spaces or less in between cars		+ 0.03
5,6,7	N/A		
8	Windows above the 1st floor which are 3' x 4' or less		+ 0.01
9	Side street erected req: not brick	0.001 x 216' 1" = 0.2161	+ 0.03
10	Building located within 15-20 ft of rear lot line	0.001 x 201'	+ 0.021
11	Structures with front setback less than 25' having a roof at least 3' lower than the roof of main structure	0.01	0.03
12	Reduction in lot area: proposed = 18' x 12'	0.006 x 6' 3"	+ 0.03
TOTAL ALLOWABLE FAR + 30 + 1500 = 3325 SF			Sub - 1616 = 020

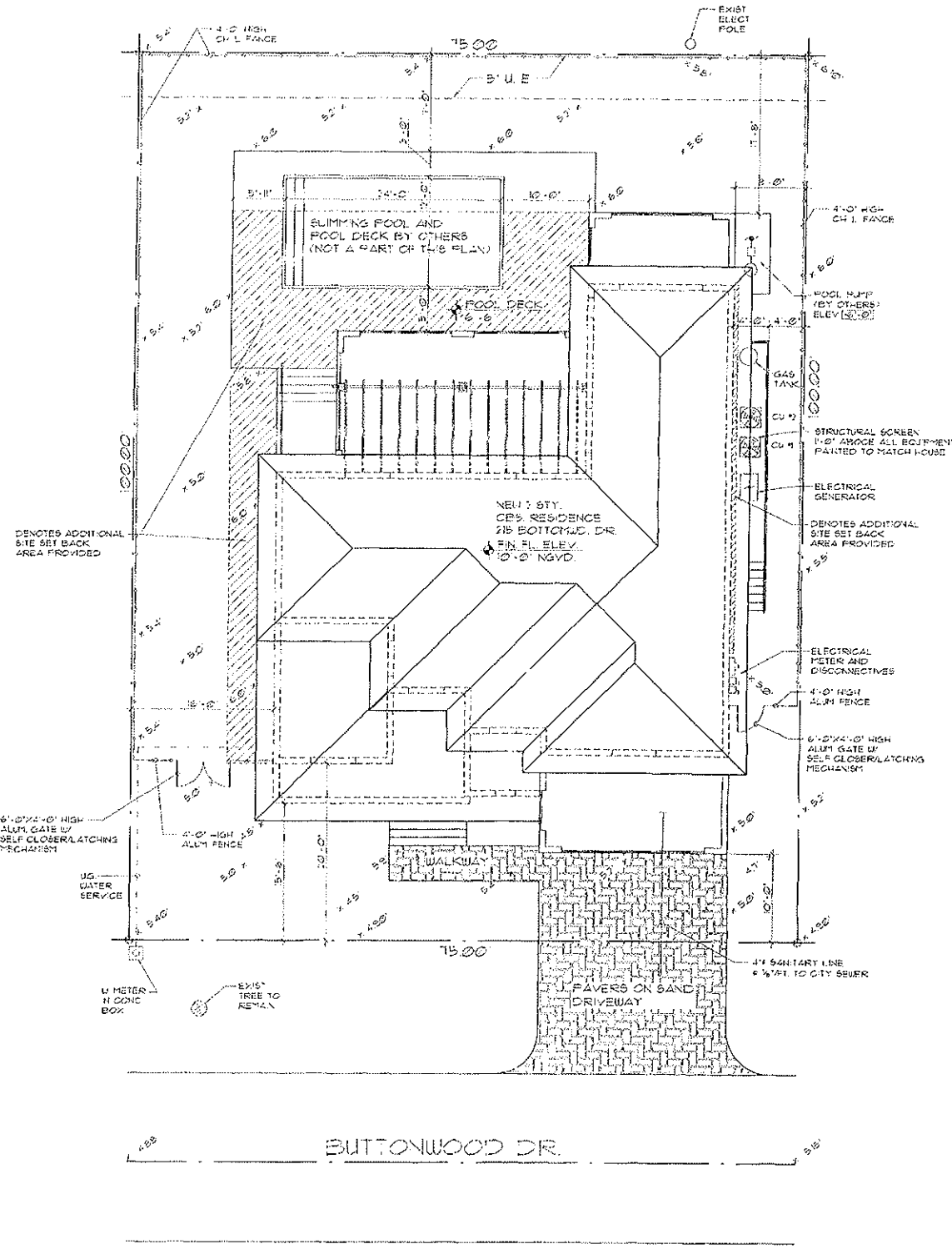
ZONING NOTES:

- LOT AREA: 1500 SF
- LOT COVERAGE (35% MAX PERMITTED 2625 SF): 2502 SF (337%)
- AC FIRST FLOOR: 1970 SF
- AC SECOND FLOOR: 543 SF
- TOTAL AC AREA: 3521 SF
- CARPORT AREA: 48 SF
- TERRACES AND PORCHES: 825 SF
- BASE FAR: (30 x 1500 SF) = 3150 SF
- BONUS POINTS (MAX 0.1 x 1500 SF): 150 SF
- TOTAL PERMITTED: 3300 SF
- TOTAL PROVIDED: 3521 SF

PERVIOUS CALCULATION:

- LOT AREA: 1500
- HOUSE FOOT PRINT (FOR PERVIOUS CALCULATIONS): 3036
- POOL / POOL DECK: 56
- DRIVEWAY / WALKWAY: 38
- TOTAL: 4272
- TOTAL GREEN AREA: 3328

NOTE
RETAIN ALL RAIN WATER WITHIN PROPERTY LINES



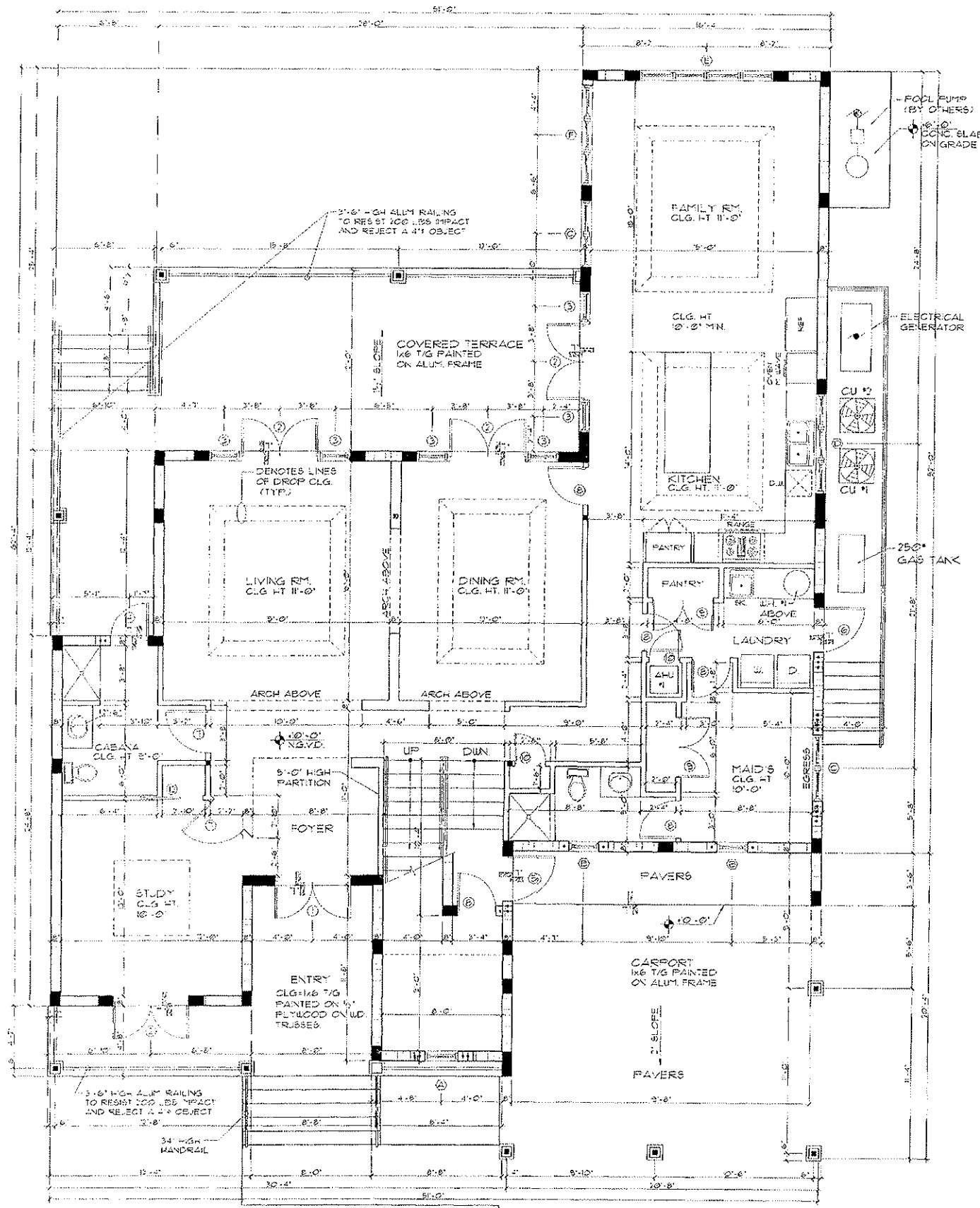
SITE PLAN
SCALE: 1/8" = 1'-0"

NEW TWO STORY RESIDENCE FOR:
MR. & MRS. CHRIS HARTNIBBRIG
215 BOTTOMWOOD DR. KEY BISCANE FL.

ARCHITECTURE - PLANNING.
FIG
7600 SW 57 ST. - SUITE 128 - S. MIAMI FL 33143
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002156
GROUP INC

MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # AR 9053
7342 SW 148 ST. SUITE 203
MIAMI, FLORIDA 33155

DATE: 07-30-04
SCALE: AS NOTED
DRAWING: Y T
JOB:
SHEET: **A-1**
OF: SHEETS



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE						
TYPE	WIDTH	HGT	THICK	TYPE	MATERIAL	REMARKS
1	5'-0"	8'-0"	1 1/2"	SLING	WOOD SOLID	
2	5'-0"		---	SLING	ALUM GLASS	SAFETY GLASS
3	2'-0"		---	FIXED		
4	2'-6"		---	SLING		
5	3'-0"		1 1/2"		WOOD SOLID	IMP FIRE RATED W/ SELF CLOSER
6	3'-0"		---		ALUM GLASS	SAFETY GLASS
7	2'-0"		1 1/2"		WOOD SOLID	HANDICAPPED
8	2'-6"		---			
9	4'-0"		---			LOUVERS
10	2'-0"		---			
11	2'-6"		---			
12	2'-6"		---			

WINDOW SCHEDULE					
MARK	CODE	UNIT SIZE	TYPE	MAT	REMARKS
A	1-34	26 1/2" x 50 1/2"	CASEMENT	ALUM GLASS	
B	---	24"	FIXED		
C	22 1/2-35	43 1/2" x 63"	CASEMENT		
D	13 1/2-34	43 1/2" x 50 1/2"			
E	42 1/2-35	43 1/2" x 63"			
F	13 1/2-35	43 1/2" x 63"			
G	24	26 1/2" x 50 1/2"	FIXED		
H	---	48" x 60"			
I	26	37" x 41 1/2"			
J	13 1/2-34	43 1/2" x 50 1/2"	CASEMENT		
K	25	37" x 38 1/2"			
L	13-35	26 1/2" x 63"			

ALL WINDOWS AND EXTERIOR GLASS DOORS TO BE IMPACT RESISTANT. PROVIDE SHOP DRAWINGS FOR APPROVALS.
ALL SHOWER ENCLOSURES TO BE SAFETY GLASS CAT. II

ROOM FINISH SCHEDULE					
ROOM	FLOOR	BASE	CEILING	CEIL. HT.	WALLS
LIVING/DINING	SATURNIA	WOOD 5/4"	SMOOTH FN.	10'-0" x 11'-0"	SMOOTH FN.
FOYER/CORRIDOR				10'-0" x 11'-0"	
STUDY				10'-0"	
KITCHEN				10'-0" x 11'-0"	
FAMILY RM				10'-0" x 11'-0"	
LAUNDRY				10'-0"	
MAID'S RM				10'-0"	
CABANA BATH	MARBLE	MARBLE		9'-0"	A
TERRACES	IMITATION KEY STONE	IMITATION KEY STONE	1/2" 1/2"	10'-0"	
STAIRCASE	WOOD	WOOD	SMOOTH FN.	VARIES	SMOOTH FN.
BEDROOM 2ND FL.	WOOD	WOOD		10'-0"	SMOOTH FN.
MASTER BATH	MARBLE	MARBLE			A
BATHROOMS	CERAMIC TILE	CERAMIC TILE			
W.C. CLOSETS	WOOD				
TERRACES/ENTRY	IMITATION KEY STONE	IMITATION KEY STONE			
CARPORTRNRY	PAVERS		1/2" 1/2"	10'-0"	SMOOTH FN.

A CERAMIC TILE FULL HT. AT SHOWER.
B 3'-0" HIGH ALL WALLS.
C MARBLE FULL HT. AT SHOWERS + TUBS.
D 3'-0" HIGH ALL WALLS.

HISTORY OF DRAWING SHEET
DESIGNED BY DATE OF SHEET
DRAWN BY
CHECKED BY
DATE OF SHEET

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10/20/04

DATE 07-30-04
SCALE AS NOTED
DRAWING Y T
JOB
SHEET A-2
OF SHEETS

WY