

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077
Expires December 31, 2005

C.O.R. 5.08ft
02-20-06

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

B05-04787

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:	
BUILDING OWNER'S NAME MANUEL MUNIZ		Policy Number	
ORDER No. 0602-65			
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 451 N. MASHTA DRIVE		Company NAIC Number	
CITY KEY BISCAZYNE	STATE FL	ZIP CODE 33149	
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 3, SMUGGLERS COVE SUBDIVISION, PLAT BOOK 78, PAGE 83.			
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) RESIDENTIAL			
LATITUDE/LONGITUDE (OPTIONAL) (##°-##-##.##" or ##.####")	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other: _____	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER VILLAGE OF KEY BISCAZYNE 120648		B2. COUNTY NAME MIAMI DADE		B3. STATE FL	
B4. MAP AND PANEL NUMBER 12025CO 281	B5. SUFFIX J	B6. FIRM INDEX DATE 07-17-95	B7. FIRM PANEL EFFECTIVE/REVISED DATE 03-02-94	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 10.00

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe): _____
 B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____
 B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No Designation Date _____

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
 Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
 Datum NGVD Conversion/Comments _____

Elevation reference mark used 0021 KB Does the elevation reference mark used appear on the FIRM? Yes No

- o a) Top of bottom floor (including basement or enclosure) 10.00 ft.(m) (1st floor)
- o b) Top of next higher floor 22.00 ft.(m) (2nd floor)
- o c) Bottom of lowest horizontal structural member (V zones only) N/A ft.(m)
- o d) Attached garage (top of slab) N/A ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) N/A ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 5.7 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 6.1 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 1
- o i) Total area of all permanent openings (flood vents) in C3.h N/A sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date

Walter E. Venega
3106
02-20-06

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME WALTER E. VENEGA LICENSE NUMBER 3106

TITLE PROFESSIONAL LAND SURVEYOR	COMPANY NAME CARIBBEAN LAND SURVEYORS		
ADDRESS 11865 SW 26TH STREET BLD 1-13	CITY MIAMI	STATE FL	ZIP CODE 33175
SIGNATURE <i>Walter E. Venega</i>	DATE 02-20-06	TELEPHONE (305) : 227-6967	

IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:
BUILDING STREET ADDRESS (including Apt., Unit, Suite, and/or Box No.) OR P.O. ROUTE AND BOX NO. 451 N. MASHTA DRIVE			Policy Number
CITY KEY BISCAYNE	STATE FL	ZIP CODE 33149	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS THE ELEVATION FOR TOP OF ROOF OF TIE BEAM ELEVATION IS 32.50'ft

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number ___ (Select the building diagram most similar to the building for which this certificate is being completed -- see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is ___ ft.(m) ___ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?
 Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME _____

ADDRESS _____ CITY _____ STATE _____ ZIP CODE _____

SIGNATURE _____ DATE _____ TELEPHONE _____

COMMENTS _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: _____ ft.(m) Datum: _____

G9. BFE or (in Zone AO) depth of flooding at the building site is: _____ ft.(m) Datum: _____

LOCAL OFFICIAL'S NAME _____ TITLE _____

COMMUNITY NAME _____ TELEPHONE _____

SIGNATURE _____ DATE _____

COMMENTS _____

Check here if attachments

ZONING TABULATION OF AREAS

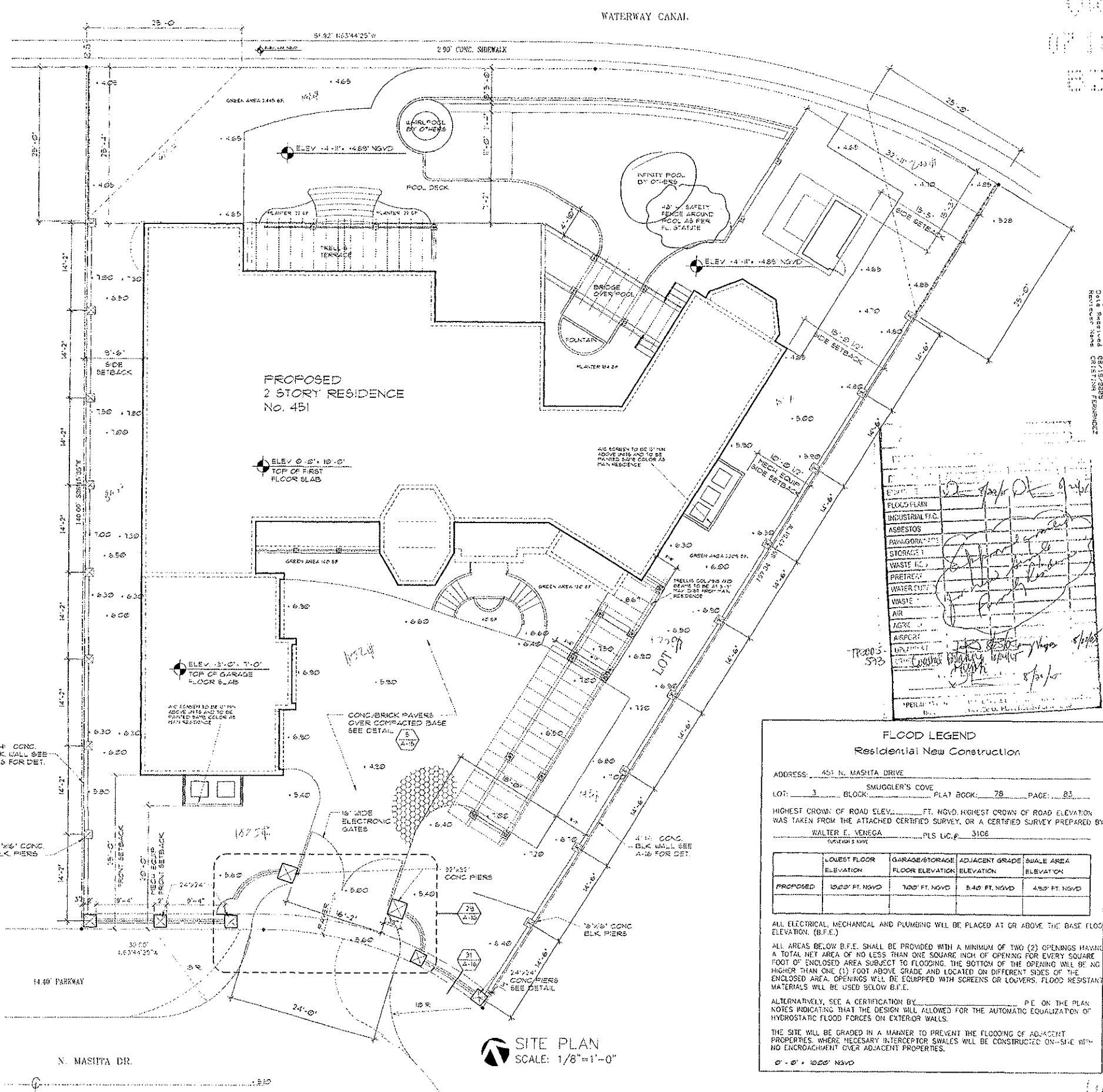
ZONING CLASSIFICATION	IR ISLAND RESIDENTIAL	REQUIRED	PROVIDED
LOT AREA	15,888 SQ. FT.		
MINIMUM PERVIOUS AREA 30 %		4,766 S.F.	5,192 S.F.
MAXIMUM LOT COVERAGE 35 %		5,561 S.F.	5,531 S.F.
BASE FLOOR AREA RATIO AND BONUSES			
BASE FLOOR AREA RATIO (IR)		.36	
PORCH FACING A STREET 00005/S.F. X 262 =		013	
OPEN AND UNENCLOSED BALCONIES ABOVE FIRST FIN FL. 00006/S.F. X 511 =		026	
TWO CAR GARAGE PARALLEL AND SEPARATED		.03	
ENTRANCE TO GARAGE NOT FACING STREET		.02	
SIDE YARD MINIMUM 15 FT		.03	
PORTIONS OF BUILDING WITH SETBACK OF MORE THAN 25 FT. 0002/FT X 65 =		013	
BUILDING HEIGHT REDUCTION 006/FT X 1 FT =		.01	
TOTAL BASE FAR AND BONUSES		.502	
MAXIMUM FLOOR AREA RATIO		.47	
BUILDING FLOOR AREA RATIO (47 X 15,888) = 7,467 S.F.			
GARAGE	760 S.F. (10%) =	76 S.F.	
POOL BATH GAZEBO		74 S.F.	
FIRST FLOOR (EXCLUDING TERRACES AND TRELLIS AREAS)		3,675 S.F.	
SECOND FLOOR (EXCLUDING STAIRS AND CHASES)		3,638 S.F.	
TOTAL BUILDING FLOOR AREA		7,463 S.F.	
REQUIRED			
MAXIMUM BUILDING HEIGHT		35 FT.	34 FT.
MAXIMUM EXTERIOR WALL HEIGHT		22.5 FT.	22.5 FT.
BUILDING SETBACKS			
FRONT		25 FT.	25 FT.
REAR		25 FT.	25.33 FT.
SIDE (30% WIDTH OF LOT) =		61'-6"	24'-6"
SWIMMING POOL SETBACKS			
REAR		4 FT.	6.5 FT.
SIDE		6.5 FT.	32'-11"

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND ANY OTHER LOCAL CODES AND REGULATIONS. THE CONTRACTOR SHALL PRODUCE AND INSTALL ALL WORK IN THE STRICT COMPLIANCE WITH THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL GOVERNING CODES AND REGULATIONS AT NO EXTRA COST TO THE OWNER. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL NOT KNOWINGLY PROCEED WITH ANY WORK NOT IN CONFORMANCE WITH THE PLANS, GOVERNING CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY FAILURE TO CARRY OUT THE WORK AS REPRESENTED IN OR IMPLIED BY THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO CONSTRUCTION, AND SHALL ADVISE THE ARCHITECT BY WRITING OF ANY DISCREPANCY.
- IN THE ABSENCE OF DIMENSIONS, CONSULT THE ARCHITECT FOR CLARIFICATION. DO NOT SCALE FROM THE DRAWINGS.
- THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES IN THE DRAWINGS AND FOR CLARIFICATION PRIOR TO SUBMITTAL AND COMMENCEMENT OF WORK.
- THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENTS A-201, LATEST EDITION, SHALL SERVE AS THE GENERAL CONDITIONS OF SPECIFICATIONS ON THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL WORK TO BE DEMOLISHED PRIOR TO BIDDING AND CONSTRUCTION AND ALL EFFECTS ON SUBCONTRACTORS WORK.
- ALL NEW AND EXISTING CONTIGUOUS SURFACES SHALL BE MADE TO MATCH EVENLY AND SMOOTHLY. ALL AREAS WHERE DEMOLITION HAS OCCURRED SHALL BE PATCHED TO MATCH THE CONTIGUOUS SURFACES.
- THE CONTRACTORS SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, AND SHALL OBTAIN ALL NECESSARY CONSTRUCTION INSPECTIONS AND CERTIFICATE OF OCCUPANCY AT PROJECT COMPLETION.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE BEST PRACTICE OF THE CONSTRUCTION TRADES IN A PROFESSIONAL AND WORKMAN-LIKE MANNER. ANY WORK NOT CONFORMING TO THESE STANDARDS MAY BE REJECTED BY THE ARCHITECT AND SHALL BE REDONE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW AND APPROVAL SHOP DRAWINGS OF ALL SPECIALTY ITEMS INCLUDING BUT NOT LIMITED TO MILLWORK AND CABINETRY.
- THESE DRAWINGS ARE FOR CONSTRUCTION AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION WITHOUT CONSENT OF THE ARCHITECT IS NOT PERMITTED.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES FOR APPROVAL BY THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION DETAILS NOT SHOWN OR NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE DRAWINGS FOR PERMITTING AND REVIEW TO THE APPROPRIATE CITY AND COUNTY DEPARTMENTS, AND ANY OTHER GOVERNMENTAL AGENCIES.

451 N. MASHTA DR
P/N: 805-04787

International Data Depository
C0001265539
Cite# V60001



FLOOD LEGEND
Residential New Construction

ADDRESS: 451 N. MASHTA DRIVE
LOT: 3 BLOCK: SMUGGLER'S COVE PLAT BOOK: 78 PAGE: 83
HIGHEST CROWN OF ROAD ELEV.: _____ FT. NGVD. HIGHEST CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED SURVEY PREPARED BY WALTER E. VENEGA PLS LIC. # 3108 SURVEYOR'S NAME

LOWEST FLOOR ELEVATION	GARAGE/STORAGE FLOOR ELEVATION	ADJACENT GRADE ELEVATION	SWALE AREA ELEVATION
PROPOSED 10.00 FT. NGVD	7.00 FT. NGVD	8.40 FT. NGVD	4.50 FT. NGVD

ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOR ELEVATION (B.F.E.)

ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOWERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.

ALTERNATIVELY, SEE A CERTIFICATION BY _____ P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOW FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.

THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.

0' - 0" = 10.00' NGVD

SITE PLAN
SCALE: 1/8" = 1'-0"

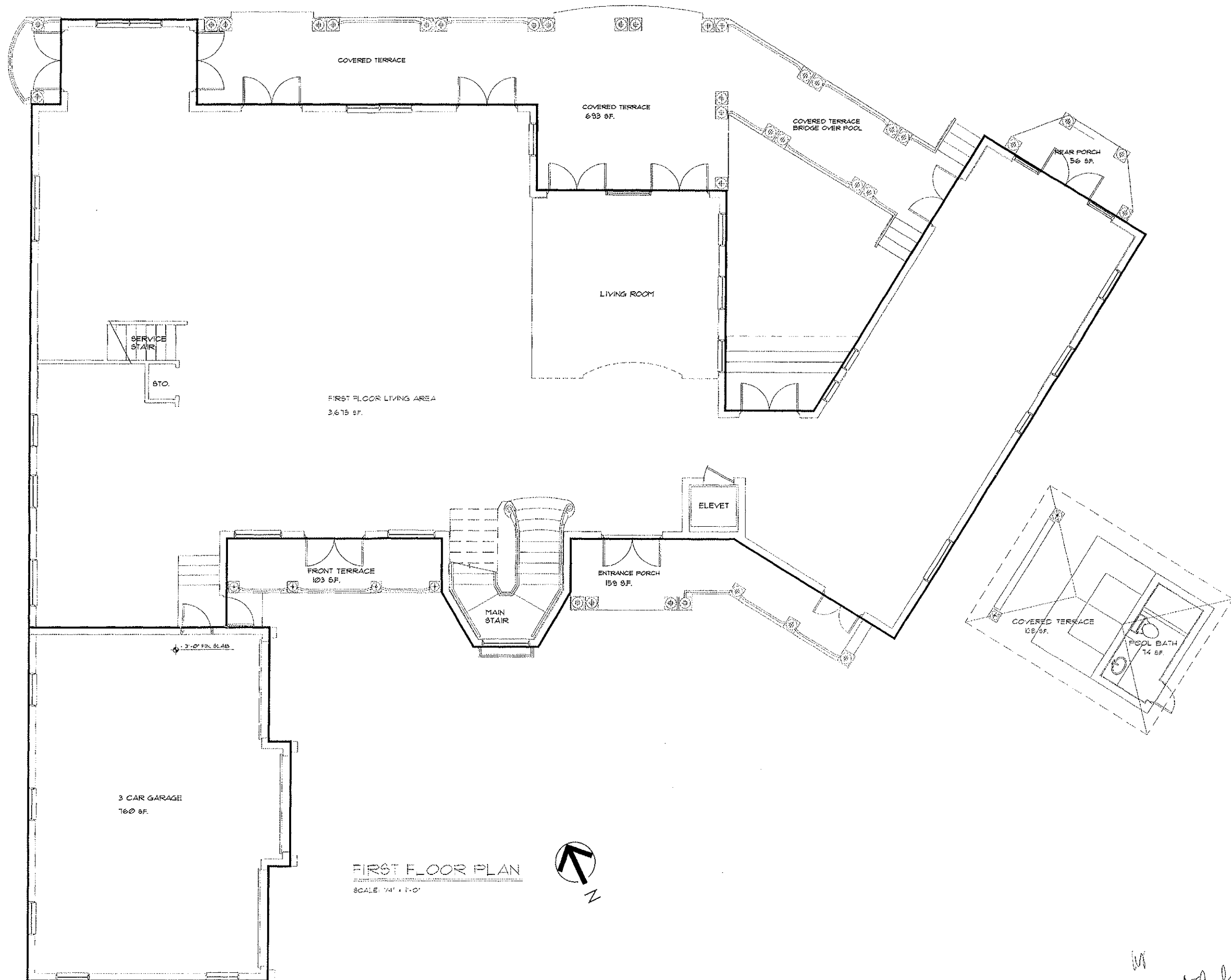
KB PARADISE ESTATES, LLC
NEW RESIDENCE
451 N. MASHTA DRIVE
KEY BISCAYNE, FLORIDA

URBAN ARCHITECTS, INC.
8077 CORAL WAY - MIAMI, FLORIDA 33155-1928
TEL: (305) 288-8433 FAX: (305) 288-8433
E-MAIL: URBANARCHITECTS@OUTLOOK.NET
ARCHITECTS AND PLANNERS REGISTRATION: AA-C0000308
SELISH MALLO FLA. REG. # 6088
JORGE L. ESTEVANEZ

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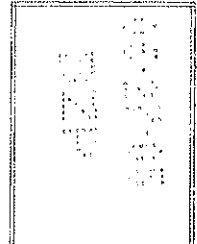
DATE: 02/28/05
JOB NO.:
DWG. BY: J.F.B.
CHECKED BY: J.E.B.
REV. 06/28/05 PERMIT
REV. 07/12/05 PERMIT

CONTRACT NUMBER: 2803-0219-1029-2804
CONTACT NAME: THE DESIGN CENTER
CONTACT PHONE: (305) 271-7899
FAX: (305) 271-7899
DATE RECEIVED: 08/15/2005
PROJECT: 451 N. MASHTA DR
REVISION: NAME: CHRISTIAN FLORENZIO



DATE: JUNE 16, 2005
 JOB NO.: 2434
 CHECKED BY:
 BY:

DESIGNED AND PREPARED BY:
 ARCHITECTS AND PLANNERS:
 URBAN ARCHITECTS, INC.
 3033 CORAL WAY, MIAMI, FLORIDA 33145-3212
 TEL: 1-305-444-8339
 FAX: 1-305-444-8332
 E-MAIL: URBAN@URBANARCHITECTS.COM
 ARCHITECTS AND PLANNERS REGISTRATION: AA-C0000308
 NELSON MALLO, F.L.A. REG. NO.: 6098
 JORGE L. ESTEVANEZ, F.L.A. REG. NO.: 6125



K. B. Paradise Estates, LLC
 New Residence
 451 N. Mashfa Drive
 Key Biscayne, FL 33149
 KEY BISCAIYNE, FLORIDA

URBAN ARCHITECTS, INC.
 3033 CORAL WAY, MIAMI, FLORIDA 33145-3212
 TEL: 1-305-444-8339
 FAX: 1-305-444-8332
 E-MAIL: URBAN@URBANARCHITECTS.COM
 ARCHITECTS AND PLANNERS REGISTRATION: AA-C0000308
 NELSON MALLO, F.L.A. REG. NO.: 6098
 JORGE L. ESTEVANEZ, F.L.A. REG. NO.: 6125

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Handwritten signature and date:
 Nelson Mallo
 6/17/05