

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

<u>805-04979</u>	<b>SECTION A - PROPERTY INFORMATION</b>	For Insurance Company Use:
A1. Building Owner's Name		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Harbor Drive (St. Agnes Catholic Church)		Company NAIC Number
City <u>Key Biscayne</u> State <u>FL</u> ZIP Code <u>33149</u>		

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
Ttract "C", Four Addition Tropical Isle HomeSubdivision, Key Biscayne, P.B.53, PG.39, Miami-Dade County, Florida.

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25° 41.996' N Long. 080° 09.828' W Horizontal Datum:  NAD 1927  NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s) <u>N/A</u> sq ft	A9. For a building with an attached garage, provide:
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <u>N/A</u>	a) Square footage of attached garage <u>567.1</u> sq ft
c) Total net area of flood openings in A8.b <u>N/A</u> sq in	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>N/A</u>
	c) Total net area of flood openings in A9.b <u>N/A</u> sq in

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>Key Biscayne, Village of &amp; 120648</u>		B2. County Name <u>Miami-Dade</u>		B3. State <u>FL</u>	
B4. Map/Panel Number <u>12025C &amp; 0281</u>	B5. Suffix <u>J</u>	B6. FIRM Index Date <u>07/17/95</u>	B7. FIRM Panel Effective/Revised Date <u>03/02/94</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>10.0</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
 Benchmark Utilized KB7R Vertical Datum NGVD(1929)  
 Conversion/Comments Elev.= 4.56


Check the measurement used.

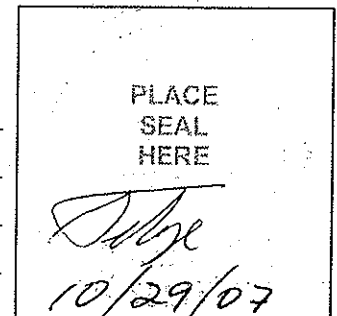
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>10.08</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>21.18</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>6.83</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>10.00</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>4.80</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>5.10</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>MANUEL FELIPE</u>	License Number <u>4146</u>
Title <u>PROFESIONAL LAND SURVEYOR</u>	Company Name <u>MANUEL FELIPE</u>
Address <u>8500 SW 8<sup>TH</sup> STREET SUITE#220</u>	City <u>MIAMI</u> State <u>FL</u> ZIP Code <u>33144</u>
Signature 	Date <u>10/29/07</u> Telephone <u>(305) 265-8308</u>



**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
100 Harbor Drive (St. Agnes Catholic Church)

City Key Biscayne State FL ZIP Code 33149

For Insurance Company Use:

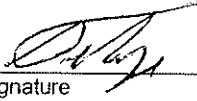
Policy Number

Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C.O.R. El. 4.95  
C2. ae: Air Condition

  
Signature

Date 10/29/07

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address

City

State

ZIP Code

Signature

Date

Telephone

Comments

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
100 Harbor Drive (St. Agnes Catholic Church)

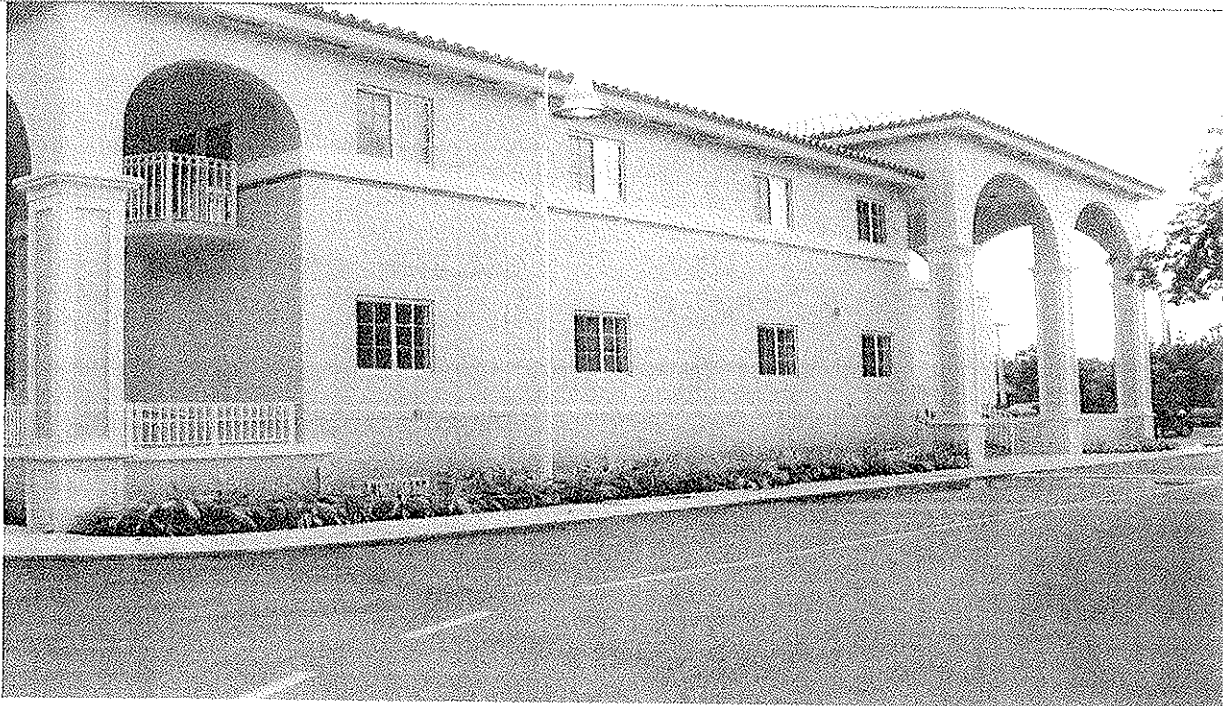
City Key Biscayne State FL ZIP Code 33149

For Insurance Company Use:

Policy Number

Company NAIC Number

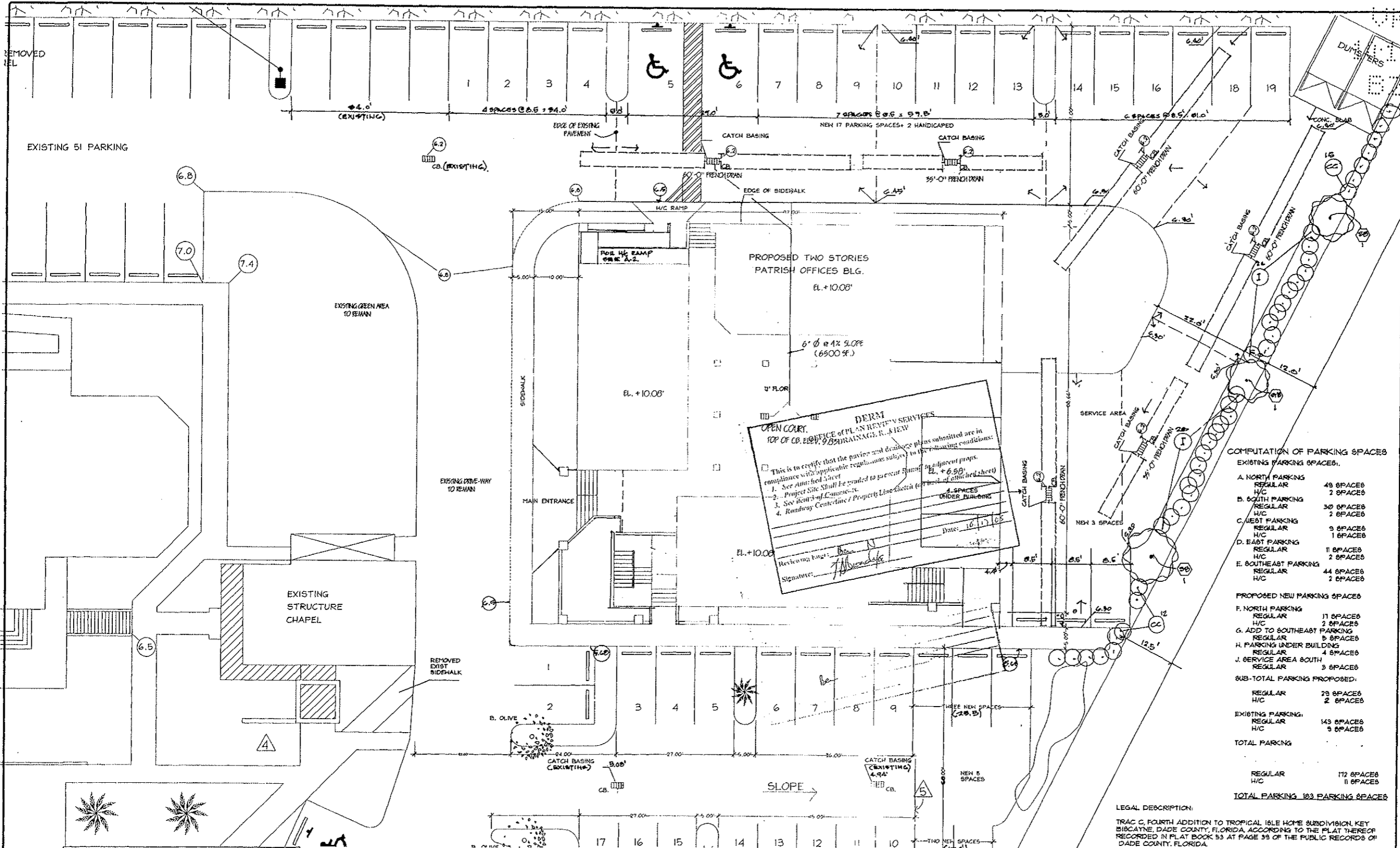
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.



DATE: 10/29/07 FACING FRONT

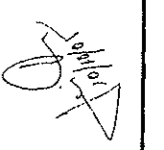


DATE: 10/29/07 FACING REAR



REVISIONS	BY
3-31-95	JBF
6-07-96	JBF
9-26-96	JBF
5-15-98	JBF
10-30-99	JBF
7-14-05	JBF

JUAN SILVERIO FERNANDEZ  
ARCHITECTS AND PLANNERS  
ARCH. REG. 0008004  
CEISO REG. 8585  
12888 MENTROSE RD. MIAMI LAKES, FL 33016



**ST. AGNES CATHOLIC CHURCH  
PARISH OFFICE BUILDING**  
JUAN C. PAVAROLA ARCHITECT  
OF THE ARCHITECTS OF MIAMI, FL.  
1000 LAUREL DRIVE, MIAMI BEACH, FL.

DRAWN	ESCAE, Inc.
CHECKED	J. S. F.
DATE	06-10-05
SCALE	1" = 10'
JOB NO.	
SHEET	
<b>SP-1</b>	
OF SHEETS	

**COMPUTATION OF PARKING SPACES**

EXISTING PARKING SPACES:

A. NORTH PARKING	REGULAR	48 SPACES
	H/C	2 SPACES
B. SOUTH PARKING	REGULAR	30 SPACES
	H/C	2 SPACES
C. WEST PARKING	REGULAR	9 SPACES
	H/C	1 SPACES
D. EAST PARKING	REGULAR	11 SPACES
	H/C	2 SPACES
E. SOUTHEAST PARKING	REGULAR	44 SPACES
	H/C	2 SPACES

PROPOSED NEW PARKING SPACES:

F. NORTH PARKING	REGULAR	11 SPACES
	H/C	2 SPACES
G. ADD TO SOUTHEAST PARKING	REGULAR	9 SPACES
H. PARKING UNDER BUILDING	REGULAR	4 SPACES
J. SERVICE AREA SOUTH	REGULAR	3 SPACES

SUB-TOTAL PARKING PROPOSED:

REGULAR	28 SPACES
H/C	2 SPACES

EXISTING PARKING:

REGULAR	143 SPACES
H/C	9 SPACES

**TOTAL PARKING 182 PARKING SPACES**

REGULAR 172 SPACES  
H/C 10 SPACES

LEGAL DESCRIPTION:  
TRAC C, FOURTH ADDITION TO TROPICAL ISLE HOME SUBDIVISION, KEY  
BISCAYNE, DADE COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF  
RECORDED IN PLAT BOOK 53 AT PAGE 35 OF THE PUBLIC RECORDS OF  
DADE COUNTY, FLORIDA.

**1. LOT COVERED BY BUILDINGS**

LOT SIZE	32737120 SF. = 152 ACRES
CHURCH	112614
WEST ARCADE	172000
EAST ARCADE	80000
CLASSROOM BUILDING	528800
CLASS ROOM & ADMINISTRATION	436100
CHAPEL	55000
PARISH CENTER	1171100
CLASSROOMS	500000
GAZEBO	40000
MAINTENANCE BUILDING	66000
NEW BUILDING	5,185.00
TOTAL	47,318.14 SF. 14.45% LOT COVERED

**2. PAVING AREAS**

SOUTH PARKING	5,800.00
WEST PARKING	15,200.00
NORTH PARKING	14,640.00
HARBOR DR. WEST PARKING	5,275.00
HARBOR DR. EAST PARKING	4,360.00
PROPOSED PARKING	
NORTH EAST PARKING	6,800.00
SOUTH EAST PARKING	4,300.00
TOTAL PAVE AREAS	67,790.00 SF
	20% LOT COVERED

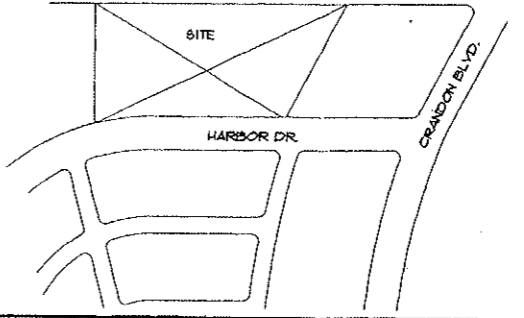
**3. OPEN AREAS**

PLAZAS, WALKWAYS, GREEN AREAS	= 212,482.06 SF. = 65.55% OPEN SPACE.
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**SITE PLAN**  
SCALE 1" = 10'

**LANDSCAPING SCHEDULE**

LEGENO	SYMBOL	NEW	EXIST	TREE NAME		NATIVE SPECIES	CALIPER	HEIGHT	CAMPY	QTY.
				SCIENTIFIC	COMMON					
OB	OB			CONOCORPUS ERECTUS SERICEUS	SILVER BOTTOM WOOD	●		10 TO 12'	5"	2
OB	OB			CONOCORPUS ERECTUS	GREEN BOTTOM WOOD	●		10 TO 12'	5"	1
OC	OC			CHRYSOBALUSCADO CHEDO	COASTAL COCOPLUM WOOD	●		17 TO 4'		27
OC	I			NOGRANT (REDGE)	NOGRANT	●		2 TO 4'		92

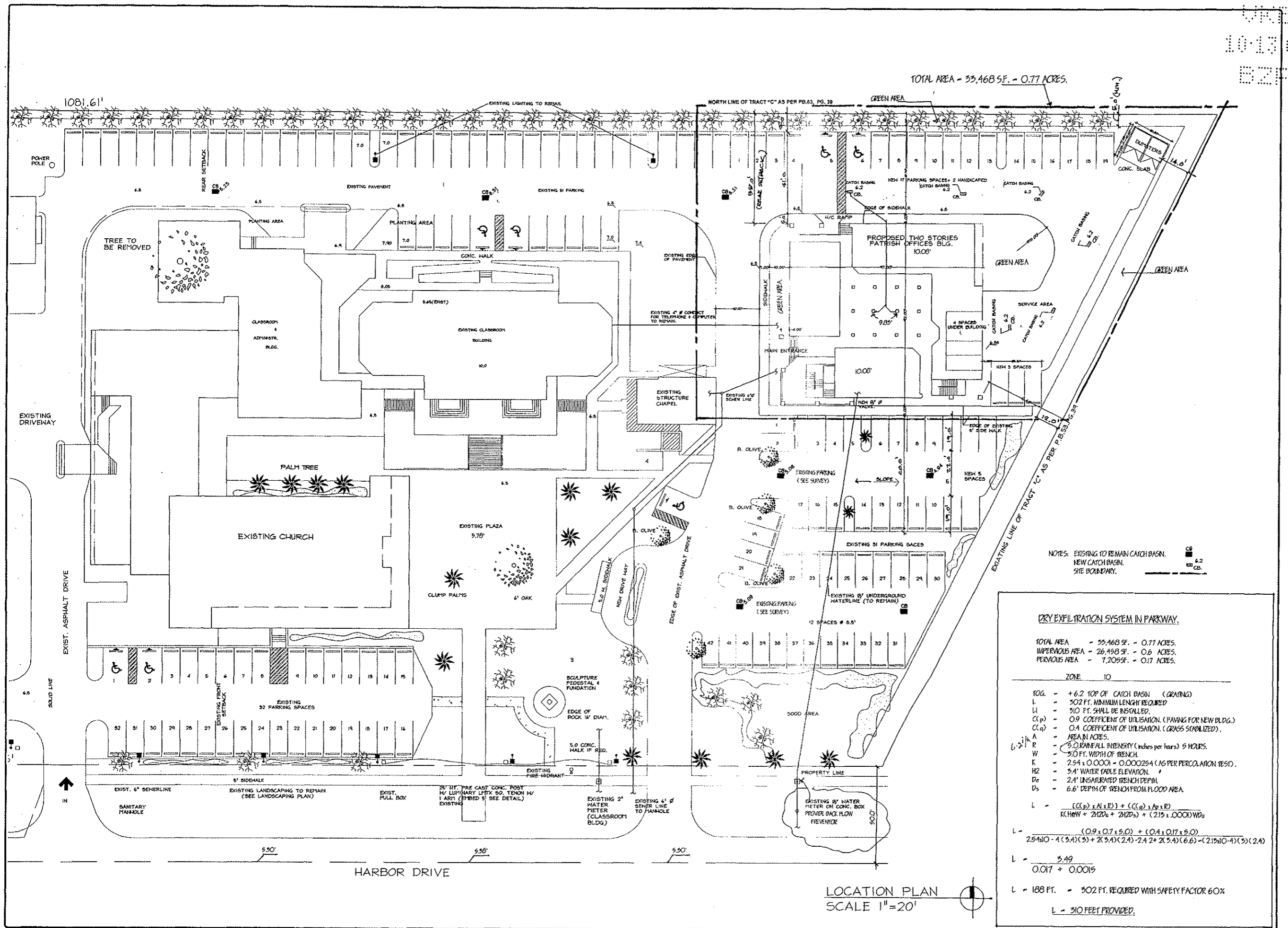


REVISIONS	BY
3-31-85	JSP
6-07-86	JSP
9-26-86	JSP
5-15-88	JSP
10-30-89	JSP
7-17-06	

JUAN ELVING FERNANDEZ  
ARCHITECTS AND PLANNERS  
ARCH. REG. 000504  
3300 3RD BLDG  
1600E MONTROSE RD. MIAMI LAKES, FL 33096

ST. AGNES CATHOLIC CHURCH  
PARISH OFFICE BUILDING  
JOHN C. FAVAZZA ARCHITECT  
OF THE ARCHDIOCESE OF MIAMI FL  
1000 N. WINDWARD PASSAGE  
2ND FLOOR DRIVE EAST MIAMI BEACH FL

DRAWN  
EBCAE, Inc.  
CHECKED  
J. S. F.  
DATE  
06-10-05  
SCALE  
1" = 20'  
JOB NO.  
SHEET  
SP-1.1  
OF SHEETS



TOTAL AREA = 33,468 SF. = 0.77 ACRES.

NOTES: EXISTING TO REMAIN CATCH BASIN.  
NEW CATCH BASIN.  
SITE BOUNDARY.

DRY EXFILTRATION SYSTEM IN PARKWAY.

TOTAL AREA - 33,468 SF. = 0.77 ACRES.  
IMPERVIOUS AREA - 26,458 SF. = 0.6 ACRES.  
PERVIOUS AREA - 7,205 SF. = 0.17 ACRES.

ZONE 10

$L = \frac{[(C(p) \times A) \times R] + [(C(q) \times A) \times R]}{K(HW + 2HW_u + 2HW_s) + (2.15 \times 1000)HW_s}$   
 $L = \frac{(0.9 \times 0.7 \times 5.0) + (0.4 \times 0.17 \times 5.0)}{2.54 \times 10 - 4(3.4)(5) + 2(3.4)(2.4) - 2.4 + 2(3.4)(6.6) - (2.15 \times 10 - 4)(5)(2.4)}$   
 $L = \frac{3.49}{0.017 + 0.0015}$   
 $L = 188 \text{ FT.} = 302 \text{ FT. REQUIRED WITH SAFETY FACTOR 60\%}$   
 $L = 310 \text{ FEET PROVIDED.}$

LOCATION PLAN  
SCALE 1" = 20'

UKB  
10-13-05  
BZP

NO.	REVISIONS
1	AS SHOWN

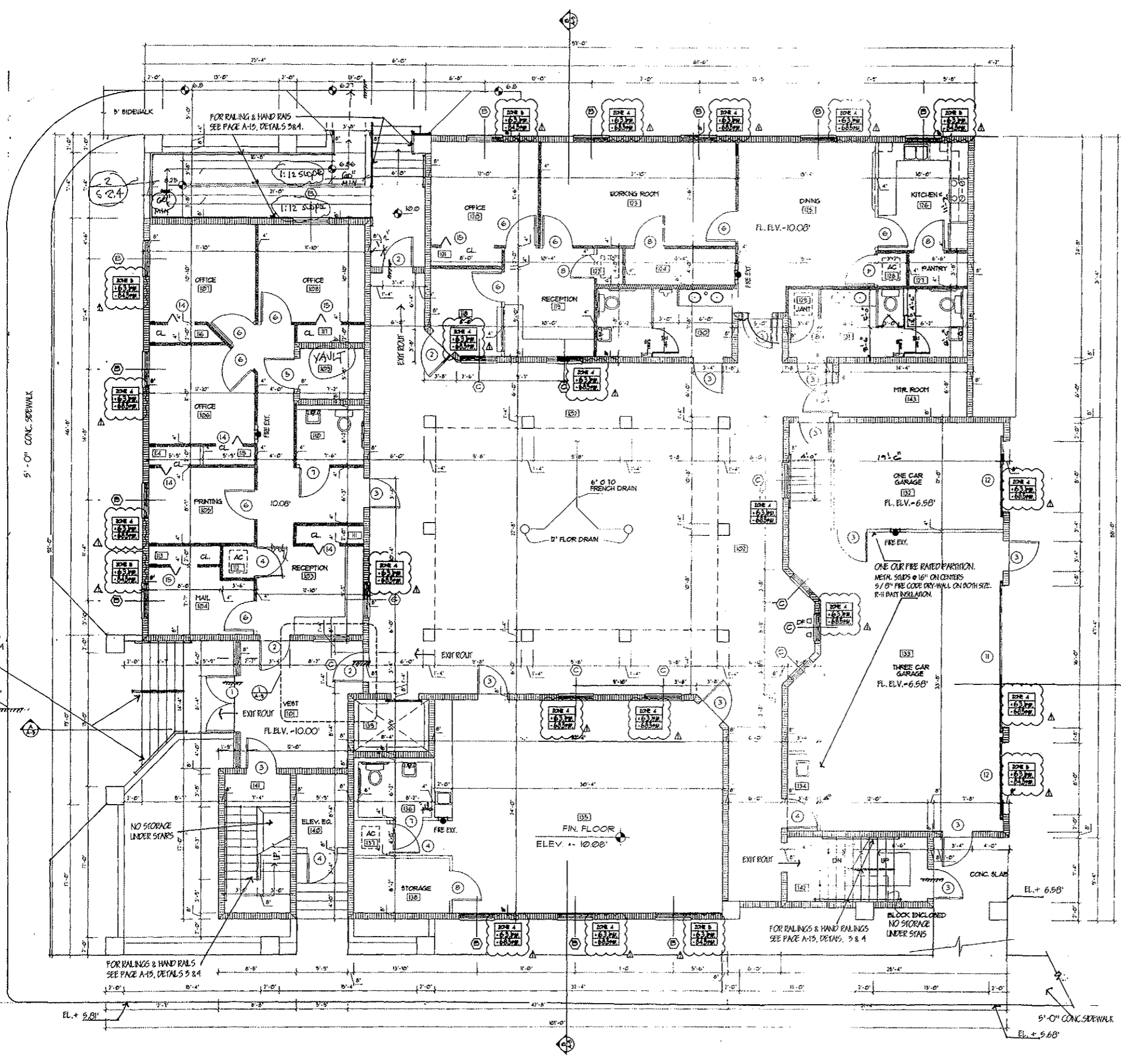
**JUAN SILVERIO FERNANDEZ**  
ARCHITECT  
AS ASSOCIATE P.A.  
architects and planners  
12333 B.L.V. ST. MIAMI LAKES, FL. 33096

**FIRST FLOOR PLAN**  
10/13/05

ST. AGNES CATHOLIC CHURCH  
JOHN G. FAVARO LA ARCHBISHOP  
OF THE ARCHDIOCESE OF MIAMI - FL  
JOSE L. HERNANDEZ, PASTOR - FL  
100 HARBOR DRIVE, KEY BISCAYNE, FL

DRAWN	ESCAE, INC.
CHECKED	J.S.F.
DATE	06-10-05
SCALE	AS SHOWN
JOB NO.	
PROJECT	

A-2

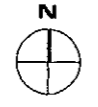


**GARAGE NOTES:**

- ONE HOUR FIRE RATED CEILING TO COMPLY WITH FLOOR & BUILDING CODE. (MADE COUNTY EDITION, TABLE 511-C ITEM # 42. 1 X 3 WOOD FURRO 4" MIN. O.C., ONE (1) LAYER 5/8" TYPE "X" GYPSUM WALL BOARD, 8d CEMENT-COATED OR TRIM-BALANCED NAILS 6" O.C., PAPER TAPE EMPLOYED IN JOINTS AND OVER JOINTS. EXPOSED NAIL HEADS COVERED WITH COMPOUND AND PRODUCT APPROVED INSULATION OF FIBERGLASS, MINERAL WOOL BATT, BLOW-IN FIBERGLASS, OR CELLULOSE INSULATION HAVING A MINIMUM INSULATING VALUE OF R-11.
- ONE HOUR FIRE RESISTIVE PARTITIONS TO COMPLY WITH U.S. GYPSUM PLE N' LEMCO FINE TEST N' R1 UP-45 6'-10"-00 6"R-II INSULATION.
- 60 SQUARE INCH CONDENSED VENT PER CAR WITHIN 1' OF GARAGE FIN FLOOR.
- 8 1/2" SECTION METAL - POST PERMANENT SIGN. 1" LETTERS ON THE INSIDE FACE OF ANYONE DOOR TO OUTSIDE READING.

**DANGER**  
DO NOT OPERATE ENGINES WITH DOOR CLOSED. CARBON MONOXIDE, EMISSION IS LETHAL

- FIRE EXTINGUISHERS, CABINETS**  
(FIRE EXT.) ACCEPTABLE MANUFACTURER PRODUCTS
- Manufacturer: Larsen's manufacturing Co., or approved equal.
  - Product: Extinguisher: Model No. "H-9".
  - Cabinet: Model No. "GENINI-Q- 2409", trimless black glass, vertical red letters.
  - Mounting brackets with required fasteners: Larsen's Model 8-2, or approved equal.



**FIRST FLOOR PLAN**  
SCALE: 3/8"=1'-0"

FOR RAILING & HAND RAILS  
SEE PAGE A-13, DETAIL 5 & 4  
EL. + 6.58'

FOR RAILING & HAND RAILS  
SEE PAGE A-13, DETAIL 5 & 4

FOR RAILING & HAND RAILS  
SEE PAGE A-13, DETAIL 5 & 4  
BLOCK ENCLOSED  
NO STORAGE  
UNDER STAIRS

5'-0" CONC. SIDEWALK  
EL. + 5.68'