

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-8.

<u>B05-04529</u>	SECTION A - PROPERTY INFORMATION	For Insurance Company Use:
A1. Building Owner's Name		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Island Drivet		Company NAIC Number

City Key Biscayne State FL ZIP Code 33149

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot A, Block 3, CAPE FLORIDA SUB. SECTION 2, PB. 70 - PG. 67

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25 41'06.70" N Long. 080 09'45.36" W

Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

- a) Square footage of crawl space or enclosure(s) N/A sq ft
- b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade N/A
- c) Total net area of flood openings in A8.b N/A sq in

A9. For a building with an attached garage, provide:

- a) Square footage of attached garage 619 sq ft
- b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade 2
- c) Total net area of flood openings in A9.b 256 sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Key Biscayne 120648		B2. County Name Miami-Dade County		B3. State Florida	
B4. Map/Panel Number 12025C0281	B5. Suffix J	B6. FIRM Index Date 7-17-95	B7. FIRM Panel Effective/Revised Date 3-02-94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) +9.0'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations -- Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.

Benchmark Utilized MI-15-R

Vertical Datum N.G.V.D

Conversion/Comments

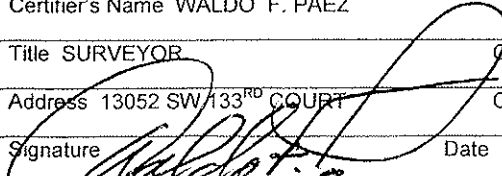
Check the measurement used.

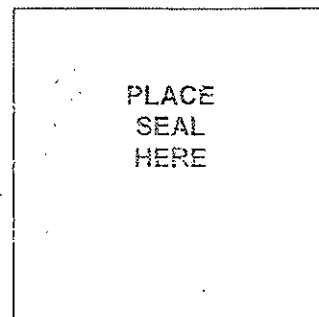
- a) Top of bottom floor (including basement, crawl space, or enclosure floor) +9.98 feet meters (Puerto Rico only)
- b) Top of the next higher floor +32.39 feet meters (Puerto Rico only)
- c) Bottom of the lowest horizontal structural member (V Zones only) N/A feet meters (Puerto Rico only)
- d) Attached garage (top of slab) +9.28 feet meters (Puerto Rico only)
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) AC7.50 feet meters (Puerto Rico only)
- f) Lowest adjacent (finished) grade (LAG) +7.05 feet meters (Puerto Rico only)
- g) Highest adjacent (finished) grade (HAG) +7.20 feet meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>WALDO F. PAEZ</u>	License Number <u>3284</u>
Title <u>SURVEYOR</u>	Company Name <u>DELTA SURVEYORS, INC.</u>
Address <u>13052 SW 133RD COURT</u>	City <u>MIAMI</u> State <u>FL</u> ZIP Code <u>33186</u>
Signature 	Date <u>1-05-07</u> Telephone <u>305-253-0909</u>



ZONING LEGEND

SINGLE FAMILY DISTRICT
 YES: VILLAGE GREEN
 WATER FRONT LOT, ONE PLOTTED LOT, LOT AREA = 16,310 s.f.
 BASE FLOOD ELEVATION = +9'-0"
 DISTRICT DEVIATION = +7'-0"
 AVERAGE CROWN OF ROAD ELEVATION = +2'
 DESIGN APPLICABLE FOR BONUS 11

FAR CALCULATIONS

	REQUIRED	PROPOSED
FAR	0.35 OF LOT = 5,708.5 s.f.	6,710 s.f.
BASE	0.35 OF LOT = 5,708.5 s.f.	6,710 s.f.
BONUS 1	0.0000 + 10% OF FLOOR = 0.0000	
BONUS 2	0.0000 + 1.2% OF GROSS FLOOR = 0.0000	
BONUS 3	15% SETBACK SIDE YARD = 0.00	
BONUS 11	FRONT BUILDING WALL = 0.00	
ADJUSTED MAXIMUM	0.435 + 16.232 = 17.293 s.f.	6,710 s.f.
MAXIMUM	NOT EXCEEDED	0.47 + 16.232 = 17.293 s.f.

BONUS 11 CALCULATION:
 REQUIRED 12' MIN. LENGTH WITH A FRONT YARD SETBACK OF 23'-0"
 PROPOSED APPROX. 35'-0" MIN. LENGTH OF FRONT ELEVATION WITH A SETBACK OF 23'-0"
 FOR AN AREA OF APPROX. 294 s.f. + 6,600 = 6,894 s.f. (15,800)

PERVIOUS AREA CALCULATION

	REQUIRED	PROPOSED
MINIMUM	39% OF LOT IS = 6,320 s.f.	5,310 s.f.

LOT COVERAGE CALCULATION

	REQUIRED	PROPOSED
LOT COVERAGE	35% OF LOT IS = 5,708 s.f.	5,510 s.f.

MAXIMUM HEIGHT

	REQUIRED	PROPOSED
MAXIMUM	15' FROM BASE 11,000 ELEVATION	14'-8"

SETBACKS CALCULATIONS

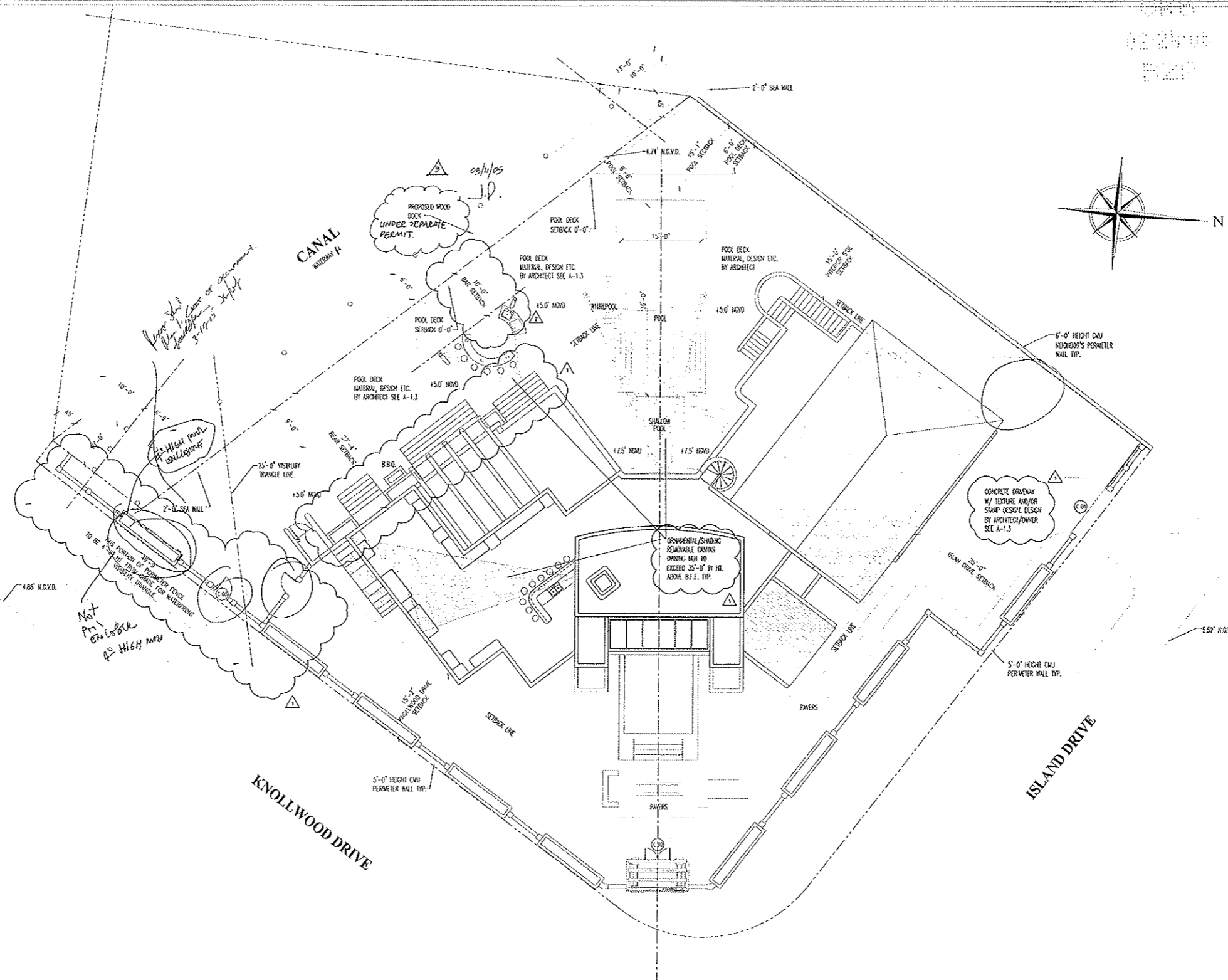
	REQUIRED	PROPOSED
BUILDING SETBACK	22'-0"	27'-0"
FRONT	22'-0"	27'-0"
REAR	15'-0"	15'-0"
SIDE STREET	15'-0"	15'-0"
SIDE INTERIOR	15'-0"	15'-0"
POOL SETBACK	4'-0"	6'-0"
REAR (WATERFRONT)	6'-6"	14'-3"
SIDE EXTERIOR	6'-6"	6'-6"
POOL DECK SETBACK	0'-0"	0'-0"
REAR (WATERFRONT)	0'-0"	0'-0"
SIDE EXTERIOR	0'-0"	0'-0"
BAN SETBACK	10'-0"	10'-0"

LOT ELEVATION

	REQUIRED	PROPOSED
MAX HEIGHT	7'-0" ABOVE C.O.R. = 7'-0"	7'-0"
REAR SIDE	2'-0" BELOW W.F.E. = 6'-0"	6'-0"
WATERFRONT ZONE	6' ABOVE BULKHEAD ELEV. = 5'-0"	5'-0"

BUILDING AREA BREAKDOWN

FLOOR	A.C.	GARAGE	DRIVEWAY	PORCH	OPEN TERR.	COVERED TERR.	POOL DECK
1	3,520 (10% UNDER F.F.E.)	78	970	109	1,650	210	1,856
2	2,232	-	-	-	1,385	233	-
3	611	-	-	-	1,385	233	-
TOTAL	6,364	78	970	109	2,420	443	1,856



SITE PLAN

SCALE 1/8" = 1'-0"

DATE	02/04/05
REVISION	02/23/05
NO.	1
ZONING DEP. COMMENTS	
NO.	2
ZONING COMMENTS	
NO.	3
OWNER COMMENTS	

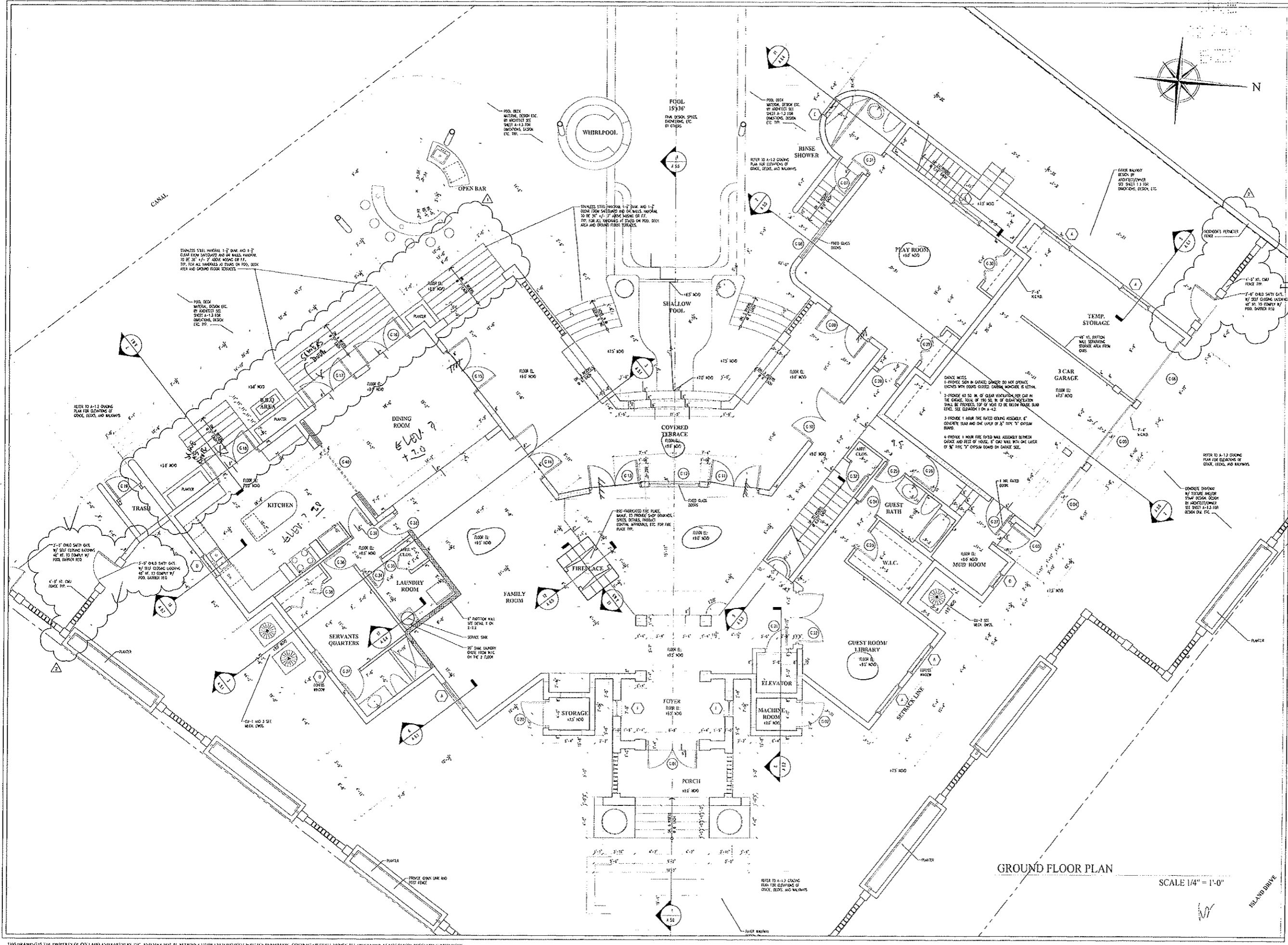
COLLADO AND PARTNERS INC.
 ARCHITECTURE PLANNING INTERIORS


JOCH RESIDENCE
 100 ISLAND DRIVE
 KEY BISCAYNE, FL

SITE PLAN

SCALE 1/8" = 1'-0"

PROJECT NO.: A-1.0



DATE	02/04/05
REVISION	
ZONING DEP. COMMENTS	
ZONING COMMENTS	
NO.	1
NO.	2
FOR NO.	
DRAWN BY	J.P.
DATE	
CHECKED	
COLLADO AND PARTNERS INC.	
ARCHITECTURE PLANNING INTERIORS	
	
JOCH RESIDENCE 100 ISLAND DRIVE KEY BISCAYNE, FL FLOOR PLANS	
TITLE:	
SCALE	
DESIGN AND DRAWING BY	
DATE	
SHEET NO.	A-2.0

GROUND FLOOR PLAN

SCALE 1/4" = 1'-0"

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