

U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

B05-05150 SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name <b>CHRISTOPHER LANGEN</b>		For Insurance Company Use
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>120 HAMPTON LANE</b>		Policy Number
City <b>KEY BISCAWAYNE</b>		Company NAIC Number
State <b>FLORIDA</b>		ZIP Code <b>33149</b>
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>LOT 3, BLOCK 20, PLAT BOOK 53, PAGE 39, MIAMI-DADE COUNTY</b>		
FOLIO No.: <b>24-4232-006-0680</b>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>		
A5. Latitude/Longitude: Lat. <b>N. 25.6974°</b> Long. <b>W. 80.1644°</b> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <b>1</b>		
A8. For a building with a crawl space or enclosure(s), provide:		
a) Square footage of crawl space or enclosure(s) <b>N/A</b> sq ft		
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <b>0</b>		
c) Total net area of flood openings in A8.b <b>0</b> sq in		
A9. For a building with an attached garage, provide:		
a) Square footage of attached garage <b>386</b> sq ft		
b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <b>8</b>		
c) Total net area of flood openings in A9.b <b>432</b> sq in		

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <b>KEY BISCAWAYNE 120648</b>		B2. County Name <b>MIAMI-DADE</b>		B3. State <b>FLORIDA</b>	
B4. Map/Panel Number <b>12025C0281</b>	B5. Suffix <b>J</b>	B6. FIRM Index Date <b>07-17-1995</b>	B7. FIRM Panel Effective/Revised Date <b>03-02-1994</b>	B8. Flood Zone(s) <b>AE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>10'</b>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
 Benchmark Utilized **SEE BACK OF FORM** Vertical Datum **NGVD 1929**  
 Conversion/Comments \_\_\_\_\_

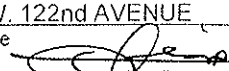
Check the measurement used.

a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>10.7</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>19.9</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>5.7</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>10.9</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.7</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>5.9</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <b>ANTONIO FIORE</b>		License Number <b>No. 5184</b>	
Title <b>VICE- PRESIDENT</b>	Company Name <b>A. FIORE AND ASSOCIATES, INC.</b>		
Address <b>921 SW. 122nd AVENUE</b>	City <b>MIAMI</b>	State <b>FLORIDA</b>	ZIP Code <b>33184</b>
Signature 	Date <b>11-27-2007</b>	Telephone <b>305-221-3040</b>	



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			For Insurance Company Use
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			Policy Number
120 HAMPTON LANE			
City	State	ZIP Code	Company NAIC Number
KEY BISCAYNE	FLORIDA	33149	


**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments

MIAMI-DADE COUNTY BENCHMARK No.0018 KB; CROWN OF ROAD ELEV.= 5.05'

LOCATOR No.MI-11; ELEVATION=4.35' TOP OF TIE BEAM ELEV.=32.45'

Signature  Date 11-27-2007  Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A, Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date
Comments	

Check here if attachments

# Building Photographs

See Instructions for Item A6.

11-27-2007

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			For Insurance Company Use:
120 HAMPTON LANE			Policy Number
City	State	ZIP Code	Company NAIC Number
KEY BISCAVNE	FLORIDA	33149	

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.



FRONT  
VIEW

11-27-2007

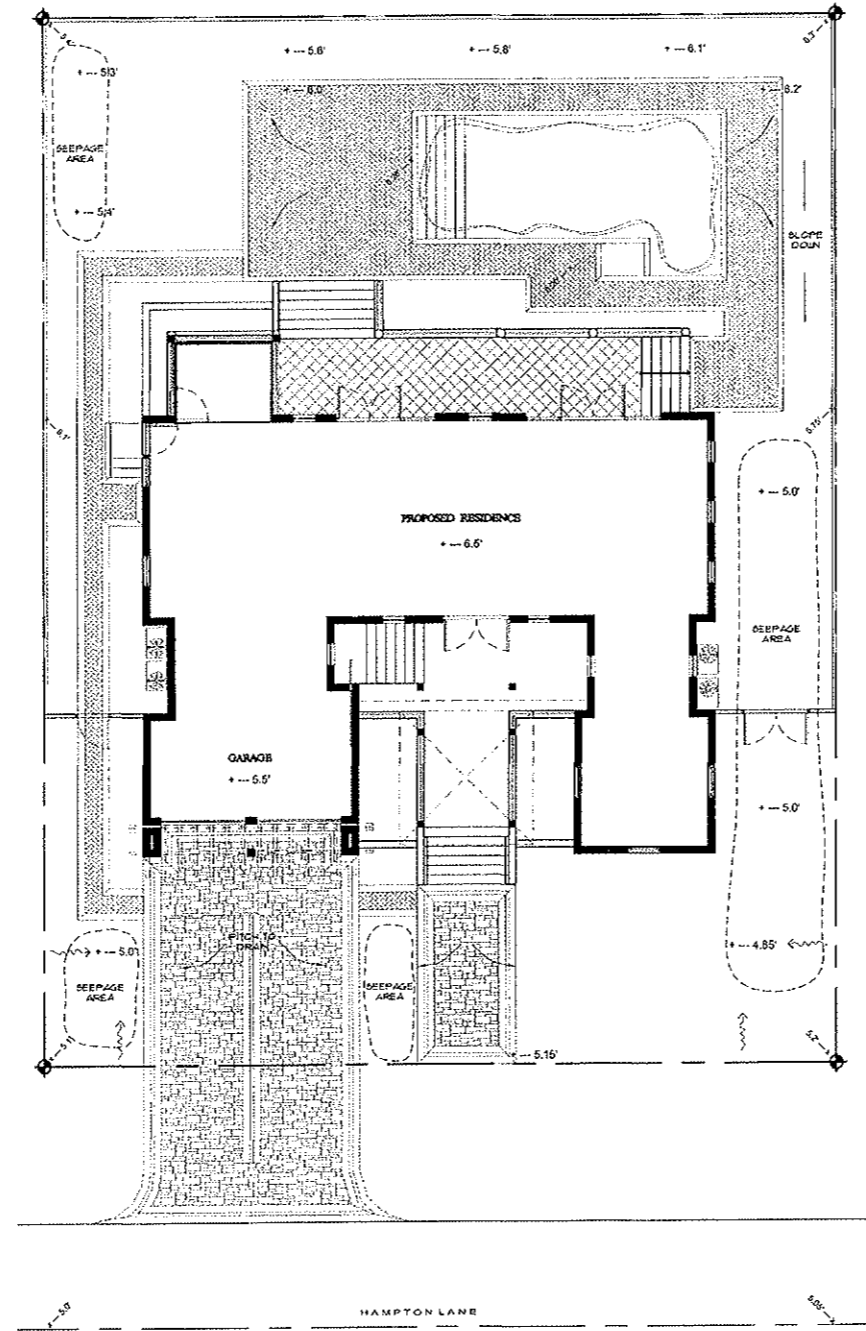


REAR  
VIEW

11-27-2007



11/13/05  
11/13/05  
11/13/05



**GRADING AND DRAINAGE LEGEND**

— 0.00'	PROPOSED ELEVATIONS
- - - 1.00'	EXISTING ELEVATIONS
- - - -	SEEPAGE AREA

SITE PLAN  
SCALE 1/8" = 1'-0"

PROJECT TITLE: LANGEN RESIDENCE  
120 HAMPTON LANE KEY BISCAYNE, FL

REVISION DATE: \_\_\_\_\_

DATE: 11/3/05

SHEET NO. 1 OF 1

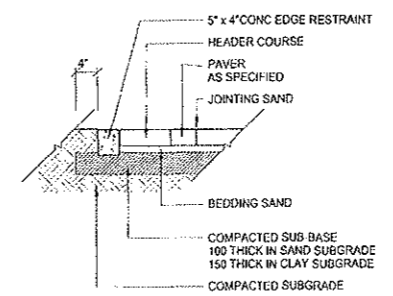
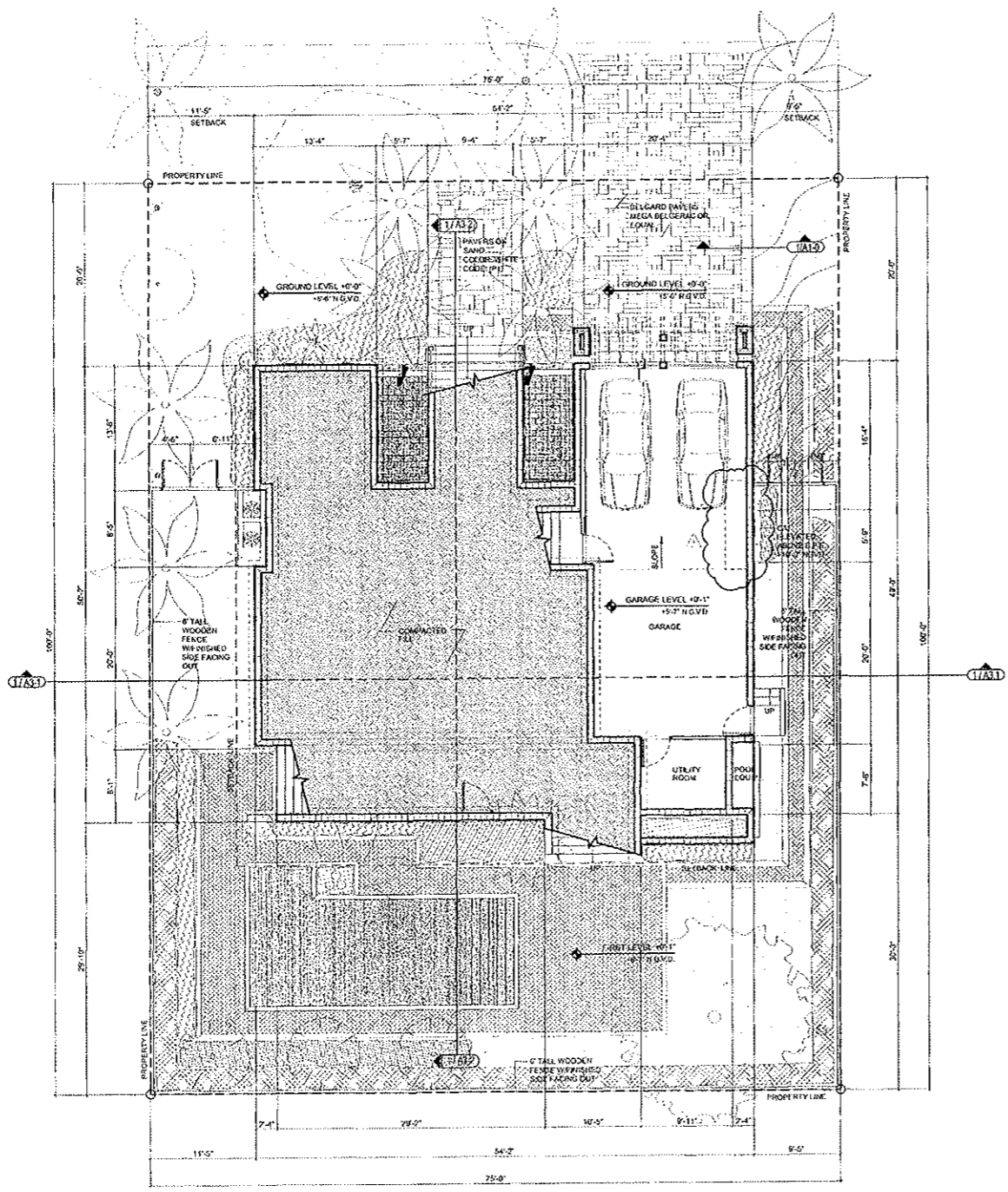
L-1

PROJECT TITLE: LANGEN RESIDENCE

HARDSCAPE PLAN  
GRADING AND DRAINAGE LAYOUT

GEOMANTIC  
DESIGNS, INC.  
Landscape Architecture  
ROBERT PARLEY A.S.P.A.  
2000 S. W. 10TH AVENUE  
MIAMI, FL 33135

11/15/05



**01 PAVERS DETAIL**  
SCALE: N.T.S.

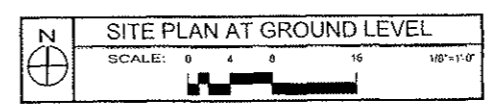
**GARAGE NOTES:** (SECTION 406-FBC 2004)

(1) PARKING SURFACES SHALL BE OF CONCRETE OR SIMILAR NONCOMBUSTIBLE AND NONABSORBENT MATERIALS

(2) SEPARATION: SEPARATION SHALL COMPLY WITH THE FOLLOWING

1- THE PRIVATE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM ½ - INCH (12.7 MM) GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN ½ - INCH TYPE X GYPSUM BOARD OR EQUIVALENT. DOOR OPENING BETWEEN A PRIVATE GARAGE AND THE DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS, OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 - INCHES (34.9 MM) THICK, OR DOORS IN COMPLIANCE WITH SECTION 715.3.3. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED.

2- DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALL OR CEILING SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019 - INCH (0.48 MM) SHEET STEEL AND SHALL HAVE NO OPENING INTO THE GARAGE



1/8" = 1'-0"  
02/24/05  
1/21

PROJECT AND OWNER:  
**LANGEN**  
RESIDENCE  
120 HAMPTON LANE | KEY BISCAIYNE, FLORIDA 33149

CHRISTOPHER LANGEN  
120 HAMPTON LANE  
KEY BISCAIYNE, FLORIDA 33149

ARCHITECT:  
**itcdesign**  
1825 west avenue | bay no. 7  
miami beach florida 33139  
t 305 673 2121 f 305 673 4640  
e miam@itcdesign.net  
w www.itcdesign.net  
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CONSULTING ENGINEERS:  
**STRUCTURAL:**  
**COMBINED ENGINEERING SCIENCES, INC**  
1214 SW 12TH COURT  
MIAMI, FLORIDA 33156  
P (305) 2623944 F (305) 2628211

**MEP:**  
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4300 SW 73RD AVENUE  
MIAMI, FLORIDA 33156  
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**CIVIL:**  
**FJ ENGINEERING, INC.**  
8600 SW 73RD STREET  
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P (305) 412-0274

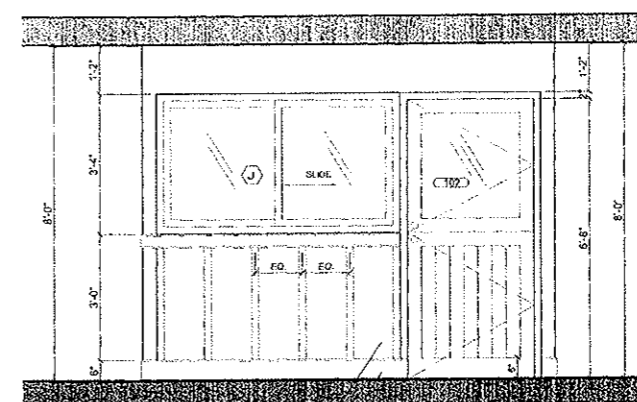
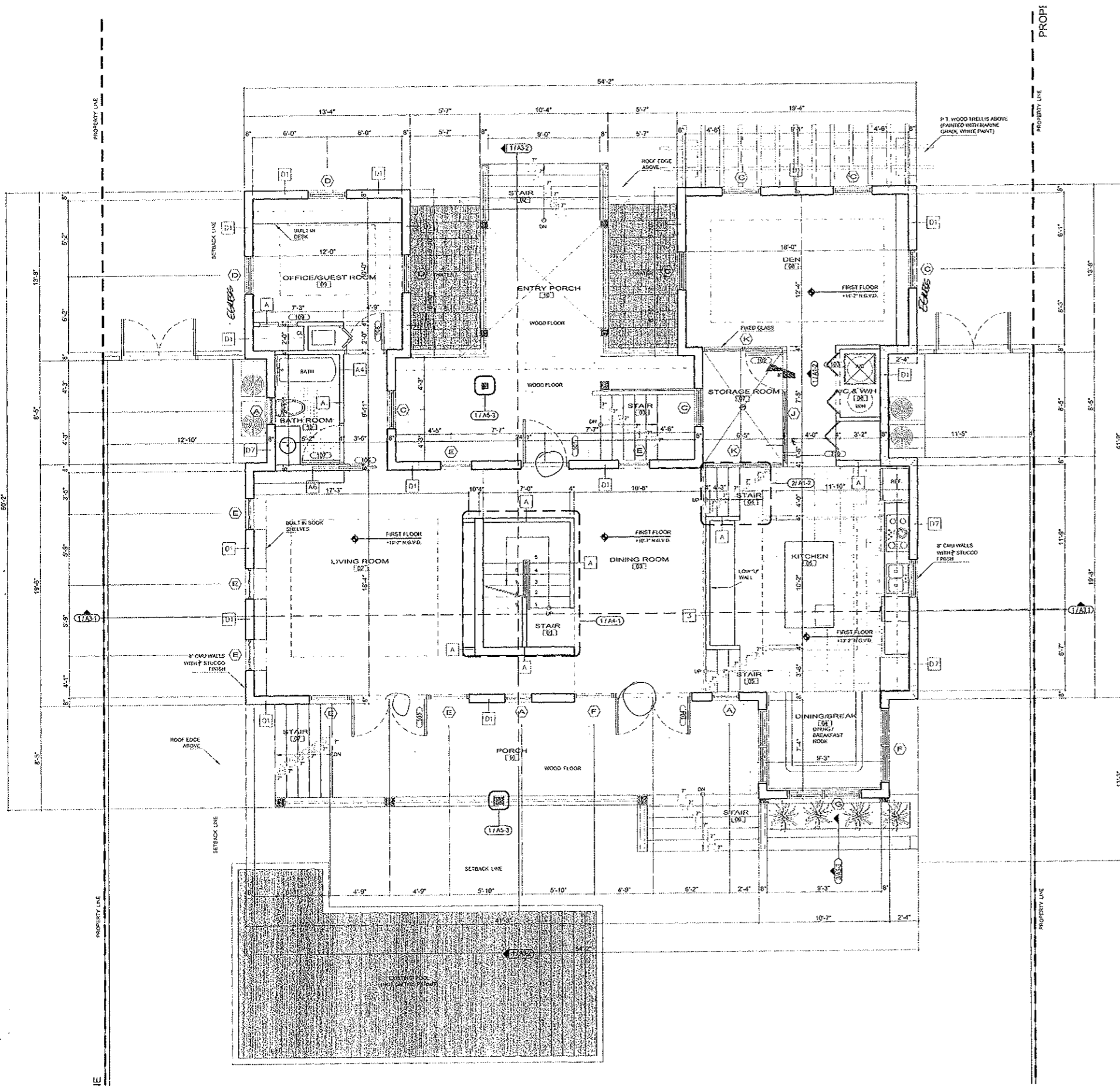
**PERMIT SET**

ISSUE DATE: 09-01-2005 PROJECT No.: 0414  
DRAWN BY: MC, SB APPROVED BY: TTM  
BUILDING DEPT. REVISION 11-29-2005

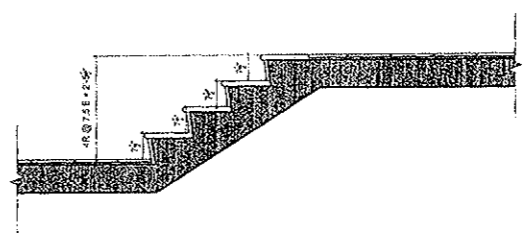
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:  
*[Signature]*  
12.12.2005  
SIGNATURE:  
TIMOTHY TODD MARTIN, I.A.  
AR0017000

SHEET TITLE:  
**GROUND FLOOR PLAN AT GROUND LEVEL**  
SCALE:  
1/8"=1'-0"  
SHEET No.:  
**A10**  
itcdesign inc. 2005



**1 BIRD ROOM ELEVATION**  
SCALE: 0 2 4 8 1/4"=1'-0"



**2 INTERMEDIATE STAIR DETAIL**  
SCALE: 0 2 4 8 1/4"=1'-0"

**FIRST FLOOR PLAN**  
SCALE: 0 2 4 8 1/4"=1'-0"

PROJECT AND OWNER:  
**LANGEN**  
RESIDENCE  
120 HAMPTON LANE | KEY BISCAYNE FLORIDA 33149

ARCHITECT:  
**Itccdesign**  
1825 west avenue | bay no. 7  
miami beach florida 33139  
t 305 673 2121 f 305 673 4840  
o miami@itccdesign.net  
w www.itccdesign.net  
#A12003394  
architecturedesign

CONSULTING ENGINEERS  
**STRUCTURAL:**  
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**CIVIL:**  
**FJ ENGINEERING, INC.**  
8600 SW 73RD STREET  
MIAMI, FLORIDA 33143  
P (305) 412-0274

**PERMIT SET**

ISSUE DATE: 09-01-2005 PROJECT No.: 0414  
DRAWN BY: MC, SD APPROVED BY: TTM

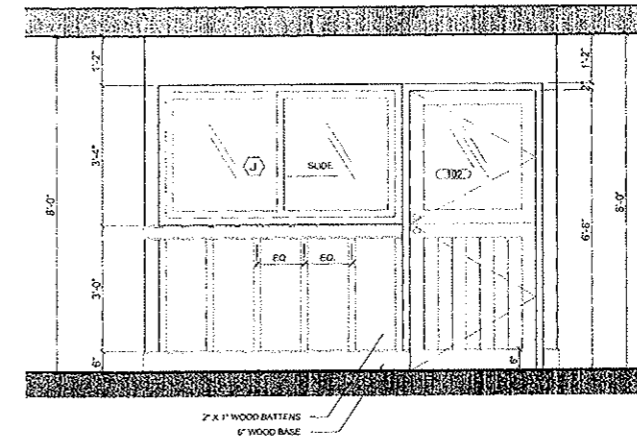
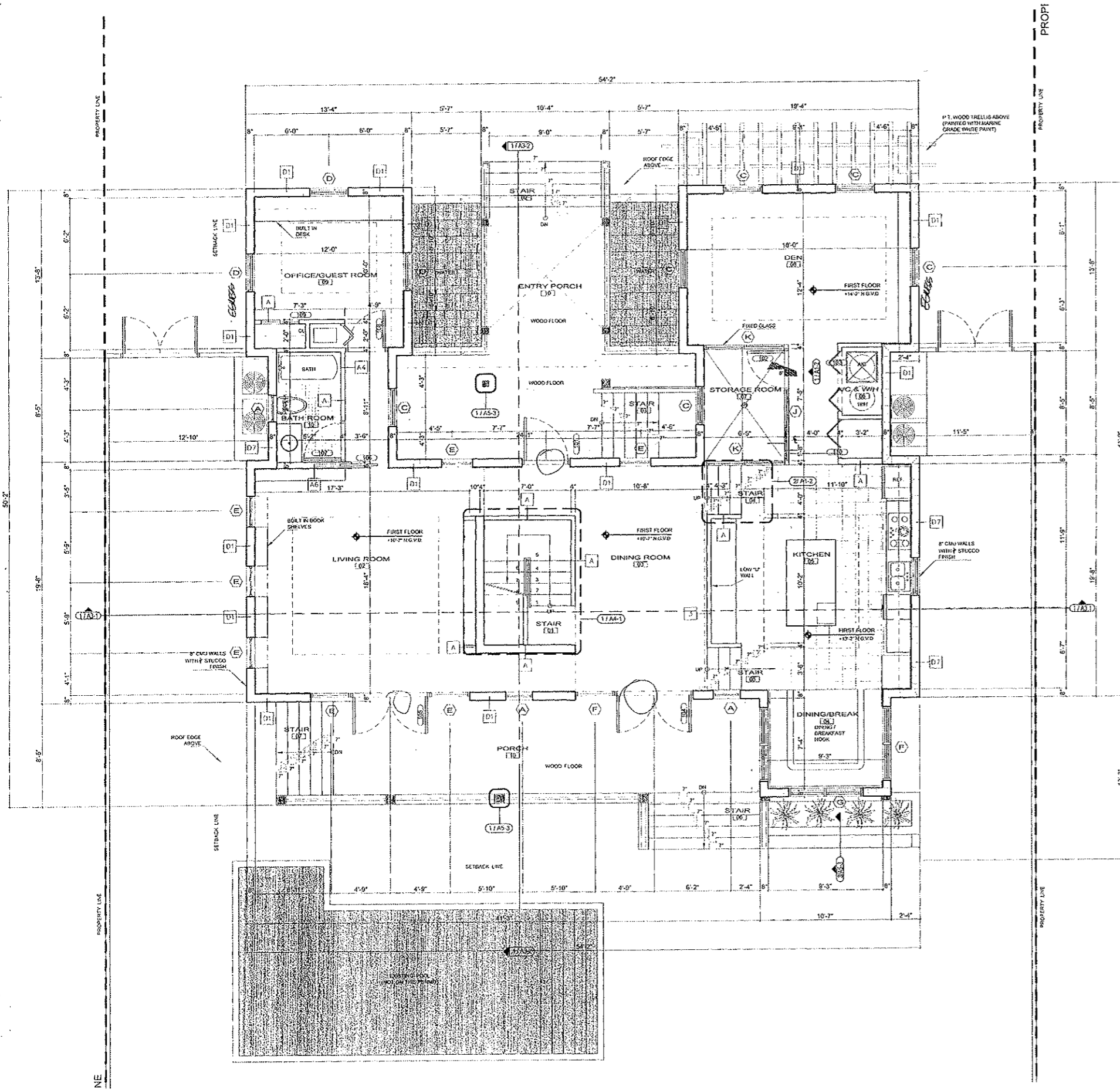
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CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND  
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN  
CONSENT.

SEAL:  
*T. Martin*  
9.9.2005  
SIGNATURE  
TIMOTHY TODD MARTIN, RA AR0017090

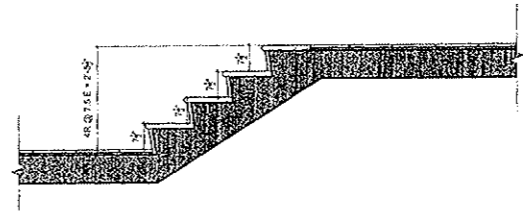
SHEET TITLE:  
**FIRST FLOOR PLAN**

SCALE:  
1/4"=1'-0"  
SHEET No.

**A12**  
Inc  
Rec design inc. 2005



**1 BIRD ROOM ELEVATION**  
SCALE: 0 2 4 8 1/4"=1'-0"



**2 INTERMEDIATE STAIR DETAIL**  
SCALE: 0 2 4 8 1/4"=1'-0"

**FIRST FLOOR PLAN**  
SCALE: 0 2 4 8 1/4"=1'-0"

PROJECT AND OWNER:  
**LANGEN**  
RESIDENCE  
120 HAMPTON LANE | KEY BISCAYNE FLORIDA 33149

CHRISTOPHER LANGEN  
120 HAMPTON LANE  
KEY BISCAYNE FLORIDA 33149

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**PERMIT SET**

ISSUE DATE: 09-01-2005 PROJECT No.: 0414  
DRAWN BY: MC, SB APPROVED BY: TTM

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MAY ONLY BE DUPLICATED WITH THEIR WRITTEN  
CONSENT.

SEAL  
*T. Martin*  
9.9.2005  
SIGNATURE:  
TIMOTHY TODD MARTIN, RA AR0017090

SHEET TITLE:  
**FIRST FLOOR PLAN**

SCALE:  
1/4"=1'-0"  
SHEET No.

