

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-3.

07-0780

306-05749		<b>SECTION A - PROPERTY INFORMATION</b>		For Insurance Company Use:	
<b>A1. Building Owner's Name</b>				Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 175 Harbor Drive				Company NAIC Number	
City Key Biscayne		State FL		ZIP Code 33149	

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
Lot 3, Block 26, FOURTH ADDITION TO TROPICAL ISLES HOMES, PB. 53 - PG. 39 Folio No. 24-4232-006-2140

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25 41'54.26" N Long. 080 10'04.05" W Horizontal Datum:  NAD 1927  NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s)	<u>N/A</u> sq ft	A9. For a building with an attached garage, provide:
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade	<u>N/A</u>	a) Square footage of attached garage
c) Total net area of flood openings in A8.b	<u>N/A</u> sq in	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade
		c) Total net area of flood openings in A9.b

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Key Biscayne 120648		B2. County Name Miami-Dade County		B3. State Florida	
B4. Map/Panel Number 12025C0281	B5. Suffix J	B6. FIRM Index Date 7-17-95	B7. FIRM Panel Effective/Revised Date 03-02-94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) +10.0

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  
Designation Date \_\_\_\_\_  CBRS  OPA  Yes  No

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
Benchmark Utilized MI-11  
Vertical Datum N.G.V.D  
Conversion/Comments \_\_\_\_\_

Check the measurement used.

a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>+10.24</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>+22.36</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>+6.05</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>+10.05</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>+5.75</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>+5.80</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name	WALDO F. PAEZ		License Number	3284
Title	SURVEYOR		Company Name	DELTA SURVEYORS, INC.
Address	13052 SW 133 <sup>RD</sup> COURT	City	MIAMI	State FL ZIP Code 33186
Signature		Date	11-15-07	Telephone 305-253-0909

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

Building Street Address (including Apt., Unit, S. and/or Bldg. No.) or P.O. Route and Box No.  
175 Harbor Drive

City Key Biscayne State FL ZIP Code 33149

For Insurance Company Use:

Policy Number

Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Highest Crown of Road Elevation = +4.90'

Signature

Date 11-15-07

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8, and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number \_\_\_\_\_

G5. Date Permit Issued \_\_\_\_\_

G6. Date Certificate Of Compliance/Occupancy Issued \_\_\_\_\_

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

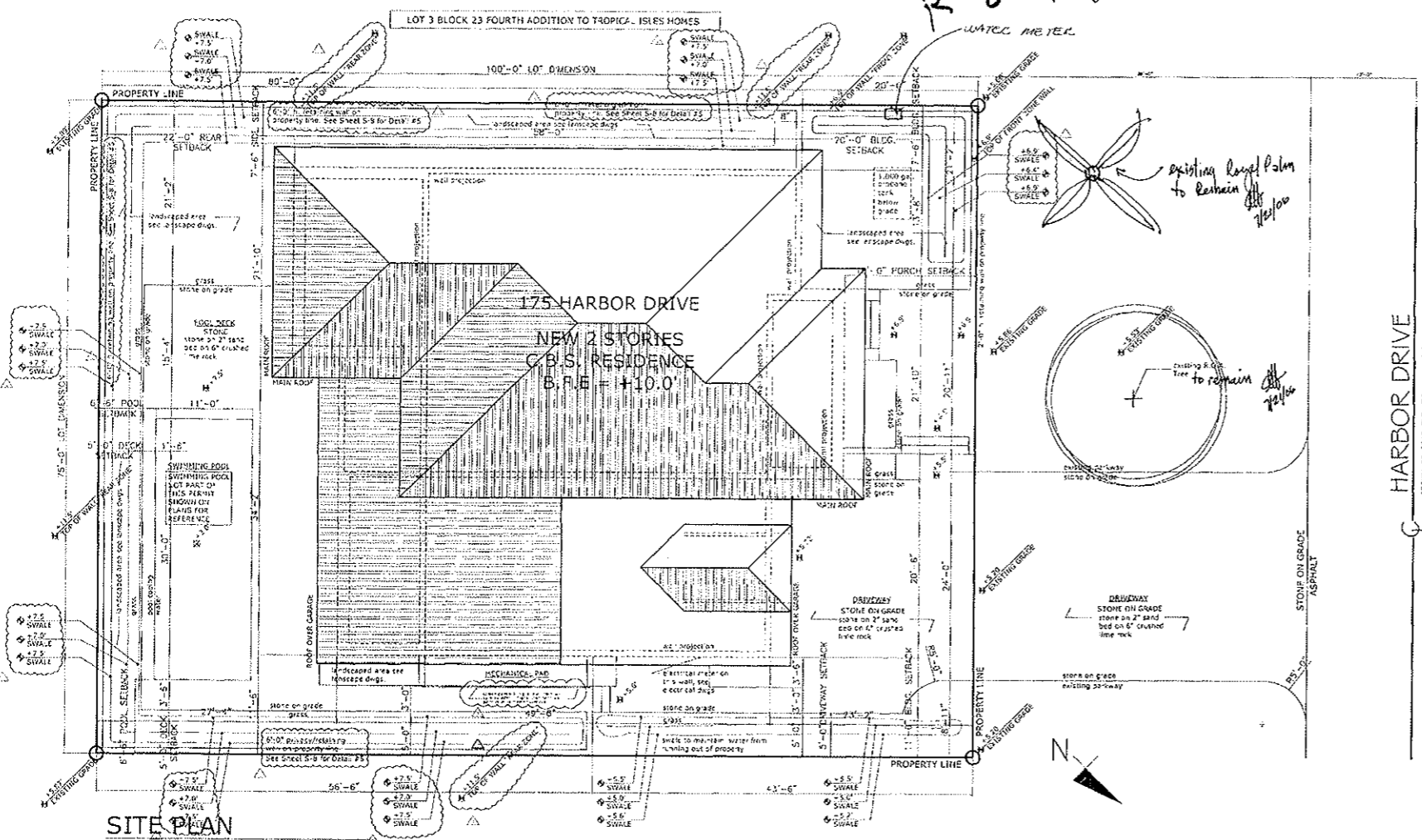
G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**INDEX TO DRAWINGS:**

A-1 SITE PLAN	M-1 FIRST FLOOR MECH PLAN
A-2 FIRST FLOOR PLAN	M-2 SECOND FLOOR MECH PLAN
A-3 SECOND FLOOR PLAN	M-3 MECH SCHEDULES 7 DETAILS
A-4 ROOF PLAN	E-1 FIRST FLOOR ELECT PLAN
A-5 NW & NE ELEVATIONS	E-2 SECOND FLOOR MECH PLAN
A-6 SE & SW ELEVATIONS	E-3 ELECTRICAL SCHEDULES RISERS & NOTES
A-7 BLDG. SECTIONS AA & BB	P-1 FIRST FLOOR PLUMB PLAN
A-8 BLDG. SECTION CC & DETAILS	P-2 SECOND FLOOR PLUMB PLAN
A-9 DETAILS & SCHEDULES	P-3 DETAILS
S-1 PILE & GRADE BM FRAMING PLAN	L-1 LANDSCAPE PLANS, NOTES & DETAILS
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S-3 SECOND FLOOR FRAMING PLAN	
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S-5 DETAILS AND SECTIONS	
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S-10 POOL DECK PILE & FRAME PLAN	

**ZONING LEGEND:**

NET LOT AREA :	7,500.00 S.F. (1.00)
LOT COVERAGE:	2,440.05 S.F. (0.32)
FIRST FLOOR A/C AREA:	1,946 S.F.
10% OF GARAGE AREA:	48 S.F.
SECOND FLOOR A/C AREA:	1,371 S.F.
TOTAL A/C AREA:	3,365 S.F. (0.4486 F.A.R.)

**BONUS CRITERIA**

AS PER TABLE ON PAGES CD30-78 & CD30-79 OF VKB ZONING REGULATIONS	F.A.R. INCREASE
Bonus # 1: Porch facing a street Formula: $(0.00005 \times 174.08 \text{ sq.ft.}) = 0.0087$ increase (max. 0.03)	0.0087
Bonus # 2: Open and unenclosed balconies located above 1st. fl. Formula: $(0.00005 \times 494.30 \text{ sq.ft.}) = 0.02471$ increase (max. 0.03)	0.02471
Bonus # 3: Building located 15' - 20' from the front property line Formula: $(0.001 \times 15.0 \text{ ft.}) = 0.015$ increase (max. 0.03)	0.015
Bonus # 4: Garage and carport w/ 2 parking spaces separated w/ an exterior column No formula = 0.03 F.A.R. increase	0.03
Bonus # 5: Single story home No formula = 0.03 F.A.R. increase	N.A.
Bonus # 6: Combination of one and two story home w/ 2nd. fl. occupying less than 50% of the 1st. fl. area under roof No formula = 0.1 F.A.R. increase	N.A.
Bonus # 7: Entrances to parking garage Interior lot: Placed in a location that does not face the street No formula = 0.02 F.A.R. increase Corner lot: Entrance from side yard No formula = 0.02 F.A.R. increase	N.A.
Bonus # 8: Windows located above 1st. fl. which face on adjacent building must be 5' above the finish fl. No formula = 0.03 F.A.R. increase Or, if no windows facing on interior side property line No formula = 0.03 F.A.R. increase	N.E. side 0.03 S.W. side N.A.
Bonus # 9: Side yard setback VR & PS Formula: $(0.00005 \times 204.99 \text{ sq.ft.}) = 0.01025$ increase VE & IR No formula: 15' required setback = 0.03 F.A.R. increase	0.01025
Bonus # 10: Building located 15' - 20' from the rear property line Formula: $(0.001 \times 15 \text{ ft.}) = \text{F.A.R. increase (max. 0.03)}$	N.A.
Bonus # 11: Front building walls VR & PS Buildings w/ front setback less than 20' which have a roof 3' over than main roof. No formula = 0.03 F.A.R. increase VE & IR A portion of building w/ a length of at least 10' w/ a front setback that exceeds the required 25' Formula: $(0.0002 \times \text{sq.ft.}) = \text{F.A.R. increase (max. 0.03)}$	0.03
Bonus # 12: Reduction in building height Formula: $(0.006 \times 3.5 \text{ ft.}) = 0.021$ F.A.R. increase (max. 0.03)	0.021
Total F.A.R. increase	0.16956
Total F.A.R. allowed = Base F.A.R. 0.30 + bonuses (max. 0.47)	0.46956

**FLOOD PROGRAM LEGEND:**

In compliance with chapter 11c of Dade County Code

**Special Flood Hazard Area - Outside Special Flood Hazard Area Residential**

New Construction

Repairs, reconstruction and interior repairs or combination (Do to DAMAGE from any source). MUST ATTACH cost of construction list, owner affidavit and an elevation survey showing existing lowest floor, lowest grade, highest crown of road elevation.

Remodeling, addition, alteration interior renovation or combination (MUST ATTACH cost of construction list, owner affidavit and an elevation survey showing existing lowest floor, lowest grade, highest crown of road elevation.)

Existing SQ. FT.	N/A	Addition SQ. FT.	N/A
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Process: \_\_\_\_\_ Folio: \_\_\_\_\_

Legal: LOT 3 BLOCK 23 FOURTH ADDITION TO TROPICAL ISLES HOMES

Address: 175 HARBOR DR. Highest Crown / Road Elev.: +4.90' NGVD

Highest Crown of road elevation above was taken from a certified survey prepared by EXACTAFL LAND SURVEYORS, INC. PLS Lic No.: L.B. #6453

Elevation	Lowest Floor	Garage/Storage	Adjacent Grade
Existing	N/A	N/A	+5.20' NGVD
Proposed	+ 10.0' NGVD	+ 5.8'-6.0' NGVD	+5.20' NGVD

1. Elevation Certificate, required before issuing, any inspection above lowest floor and a Final Elevation Certificate is required before issuance of certificate of occupancy or completion (Certificate #0-D 106(1)23-1d5) Sec 342-60B)

2. Elevation Certificate of Flood Hazard: Electrical and Mechanical equipment must be located at or above the Required Lowest Floor Elevation. S.F.H. (Special Flood Hazard): All electrical and Mechanical equipment must be located at / or above the Base Floor Elevation or Required Lowest Floor Elevation whichever is higher.

3. Lowest Floor: Shall mean the lowest floor of the lowest enclosed area (including basement). An unfinished or flood-resist enclosure, usable for parking of vehicles, building access or storage in an area other than a basement area, is not considered a building's lowest floor, provided that such enclosure is not built so to render the structure in violation of the applicable code elevation design requirements in Sections 11c-3, 11c-4, 11c-5.

4. Garage or Storage: S.F.H. (11c-5) Fully enclosed areas below the Base Floor Elevations shall be designed to preclude finished living space except storage areas (i.e. parking, limited storage and building access) and shall be designed to allow for the entry and exit of flood waters to automatically equalize hydrostatic flood forces on exterior walls. The interior portion of such enclosed area shall NOT be partitioned or finished (flood resistant materials or) into separate rooms or an enclosure. Design for compliance with this requirement must be either certified by a professional engineer or architect or meet the following criteria: (1) Provide a minimum of two (2) openings having a total net area of no less than one (1) square inch for every square foot of enclosed area size. Bottom of openings shall be no more than one (1) foot above grade.

5. Adjacent Grade: 11c-2: "Shall mean the highest finished grade of the ground surface next to the proposed walls of the structure." 11c-2C: Minimum finished grade shall mean the elevation established in Dade County Flood Criteria Map at a specific development site or crown of road elevation of an existing adjacent road, whichever is higher (or a water main to ground). Site grading must be provided in a manner as to retain stormwater run-off within site and prevent run-off into adjacent property as well as direct surface water run-off lakes or ponds.

Project Engineer/Architect: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature/Seal: \_\_\_\_\_

(11c-5), and original special area sea FEMA legend must be submitted to BERM and another must be shown on the site plan

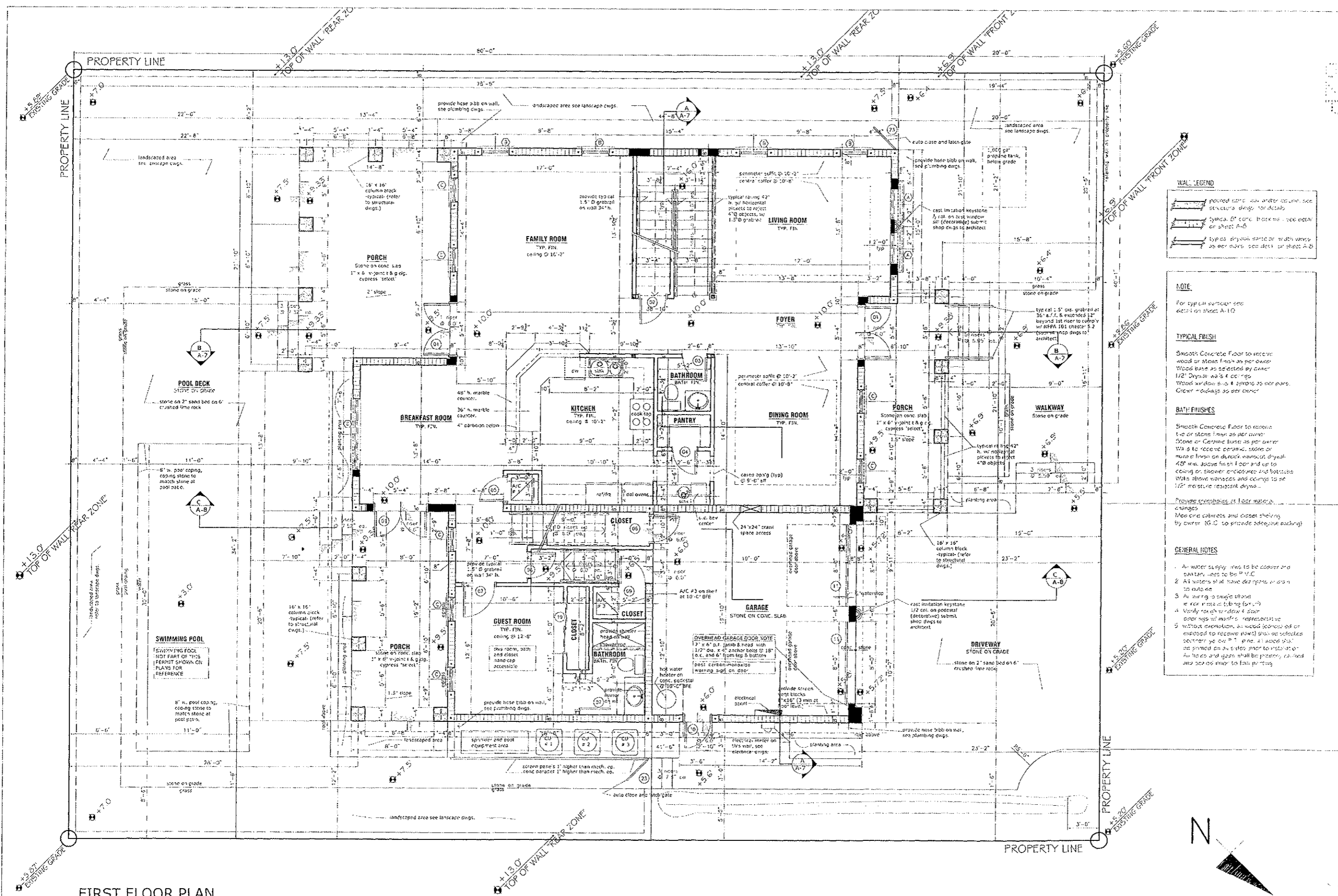
EASTSHORE ARCHITECTS  
 2727 S.W. 11th Ave. Suite 101  
 Coral Gables, FL 33134  
 (305) 648-2066  
 (FAX) 648-0521  
 License No. A45022

LUIS JAUREGUI, AIA  
 License No. 0612224  
 IGNACIO J. ZAPALATA, AIA  
 License No. 0612701

NEW RESIDENCE FOR:  
**175 HARBOR DRIVE DEVELOPMENT CORP.**  
 KEY BISCAIYNE, FLORIDA 33149  
 175 HARBOR DRIVE

DATE: 05-23-06  
 06-12-06

SHEET NUMBER  
 04-30  
**A-1**



LUIS JAUREGUI, AIA  
 IGNACIO J. ZABALETA, AIA  
 2777 Seaside Street  
 (305) 648-2066  
 (FAX) 648-0821

**EASTSHORE ARCHITECTS**  
 2777 Seaside Street  
 (305) 648-2066  
 (FAX) 648-0821

**NEW RESIDENCE FOR:**  
**175 HARBOR DRIVE DEVELOPMENT CORP.**  
 175 HARBOR DRIVE  
 KEY BISCAYNE, FLORIDA 33149

ISSUE DATE:  
 05-23-06

PROJECT NUMBER:  
 04-30

SHEET NUMBER:  
 A-2

**WALL LEGEND**  
 [Symbol] painted conc. w/ water rep. and see structural drawings for details.  
 [Symbol] typical 8" conc. thick wall - see detail on sheet A-8  
 [Symbol] typical drywall partition with wainsc. as per plans - see detail on sheet A-8

**NOTE**  
 For typical window and door detail on sheet A-10

**TYPICAL FINISH**  
 Smooth Concrete floor to receive wood or stone finish as per owner.  
 Wood base as selected by owner.  
 1/2" Drywall walls & ceilings.  
 Wood window sills & sprints as per plans.  
 Crown molding as per owner.

**BATH FINISHES**  
 Smooth Concrete floor to receive tile or stone finish as per owner.  
 Stone or Ceramic base as per owner.  
 Walls to receive ceramic, stone or marble finish on durable waterproof drywall.  
 40# min. above finish floor and up to ceiling or shower enclosure and bottoms.  
 Walls above windows and doors to be 1/2" moisture resistant drywall.

Provide niches at floor material changes.  
 Map out cabinets and closet shelving by owner (G.C.) to provide adequate backing.

**GENERAL NOTES**  
 1. All water supply lines to be copper and sanitary, and to be 1/2" M.C.  
 2. All waters that have drop down to auto air.  
 3. All wiring to single phase.  
 4. Verify rough window & door openings w/ mfrs. representative.  
 5. Window casements, in wood, to be wood or enclosed to receive paint) shall be selected per owner per 1" spec. All wood shall be primed on all sides prior to installation. All holes and gaps shall be properly caulked and sealed prior to final painting.



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"