

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

<u>B06-05271</u>	SECTION A - PROPERTY INFORMATION
A1. Building Owner's Name <u>Wayne Ramosky</u>	For Insurance Company Use:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>241 Greenwood Dr.</u>	Policy Number
City <u>Key Biscayne</u> State <u>Fl</u> ZIP Code <u>33149</u>	Company NAIC Number

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 20, Blk 28, of "FOURTH ADDITION TO TROPICAL ISLE HOMES SUBDIVISION", according to PB 53-39 of the Miami-Dade Public Rec.

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25°41'41.2008" Long. 80°10'6.7800" Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s) <u>N/A</u> sq ft	A9. For a building with an attached garage, provide:
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <u>N/A</u>	a) Square footage of attached garage <u>423</u> sq ft
c) Total net area of flood openings in A8.b <u>N/A</u> sq in	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>N/A</u>
	c) Total net area of flood openings in A9.b <u>N/A</u> sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>Village of Key Biscayne 120648</u>		B2. County Name <u>Miami-Dade</u>	B3. State <u>Fl</u>
B4. Map/Panel Number <u>12025C 0281</u>	B5. Suffix <u>J</u>	B6. FIRM Index Date <u>07/17/1995</u>	B7. FIRM Panel Effective/Revised Date <u>03/02/1994</u>
		B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>10.00'</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
Benchmark Utilized M1-11 Vertical Datum 1929
Conversion/Comments _____

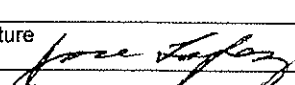
Check the measurement used.

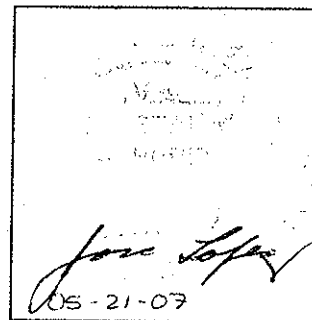
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>10.05</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>N/A</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>6.77</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.50</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>5.70</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>Jose F. Lopez</u>	License Number <u>3086</u>
Title <u>Professional Land Surveyor and Mapper</u>	Company Name <u>J.F. Lopez & Associates</u>
Address <u>7900 NW 155th St. Suite 104</u>	City <u>Miami Lakes</u> State <u>Fl</u> ZIP Code <u>33016</u>
Signature 	Date <u>05/21/07</u> Telephone <u>(305)828-2725</u>



IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
241 Greenwood Dr.

City Key Biscayne State FL ZIP Code 33149

For Insurance Company Use:

Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments HIGHEST CROWN OF ROAD ELEVATION 5.30' NGVD

Jose Lopez
Signature

Date 05/21/07

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

Check here if attachments

ABBREVIATIONS

Table of abbreviations for architectural and engineering terms, including AC, AD, AE, AF, AG, etc.

FAR BONUS CHART

Table with 3 columns: CRITERIA, CALCULATION, and FAR INCREASE. Lists various zoning criteria and their corresponding FAR calculations and increases.

ZONING INFORMATION VR-VILLAGE RESIDENTIAL

Table detailing zoning information for VR-Village Residential, including lot area, setbacks, and floor area ratios.

GENERAL NOTES

General Contractor shall maintain the site and ensure proper disposal of waste materials affecting the construction of the project before leaving the site. Failure to do so shall be cause for additional charges or penalties.

- 1. Proper disposal of all waste materials shall be by the General Contractor...
2. The General Contractor is responsible for all work indicated or indicated on these construction documents...

- 3. The General Contractor shall leave the job cleaned upon completion of work including but not limited to vacuuming carpeting, painting outside fixtures, removal of dust, dirt and debris access.
4. Any deviation from these construction drawings and specifications must be submitted for review and approval prior to implementation.

- 5. The Contractor shall pay and obtain all necessary City, County and State permits prior to commencing construction. If special permits are required for any part of the work they shall obtain and maintain them. The Contractor shall give all notices and comply with the laws, ordinances, codes and regulations bearing on the conduct of the work as drawn and specified.
6. It will be the Contractor's responsibility as part of the work to be done to coordinate the work with that of other contractors and subcontractors.

- 7. Work and material shall comply with the applicable standards of the South Florida Building Code and all other applicable codes. All work shall be done to the best of quality.
8. The Contractor shall be responsible for maintaining, monitoring and supervising all safety procedures for the General Contractor's employees working in the space and the Contractor's workers. The Contractor shall be liable and responsible for any loss or damage to the equipment, fixtures, inventory and materials located in or situated on the construction site and resulting from its activities.

- 9. The Contractor shall be responsible for all cutting, fitting or patterning that may be required to complete the work or to raise to cover same. It remains the Contractor's responsibility to provide adequate security and protection for all parts of the existing building, and/or their contents and occupants, whenever work under this contract is to be performed. The GC is responsible for the removal of any material that can be damaged or stolen.
10. All finished work shall be free from defects. The Architect reserves the right to reject any material and workmanship which is not deemed to be up to the high standards of the various trades involved.

- 11. The Contractor shall be responsible for all applicable manufacturers' product guarantees and shall submit copies of each to Owner and Architect.
12. The Contractor shall keep on site a complete set of construction drawings, specifications, addendum and clarification drawings, including a copy of any approved change orders.

- 13. The Contractor shall review manufacturers/laborators' shop drawing submittals and coordinate to accommodate all trades and disciplines. Contractor shall forward all submittals to the Architect for review of design intent compliance prior to fabrication.

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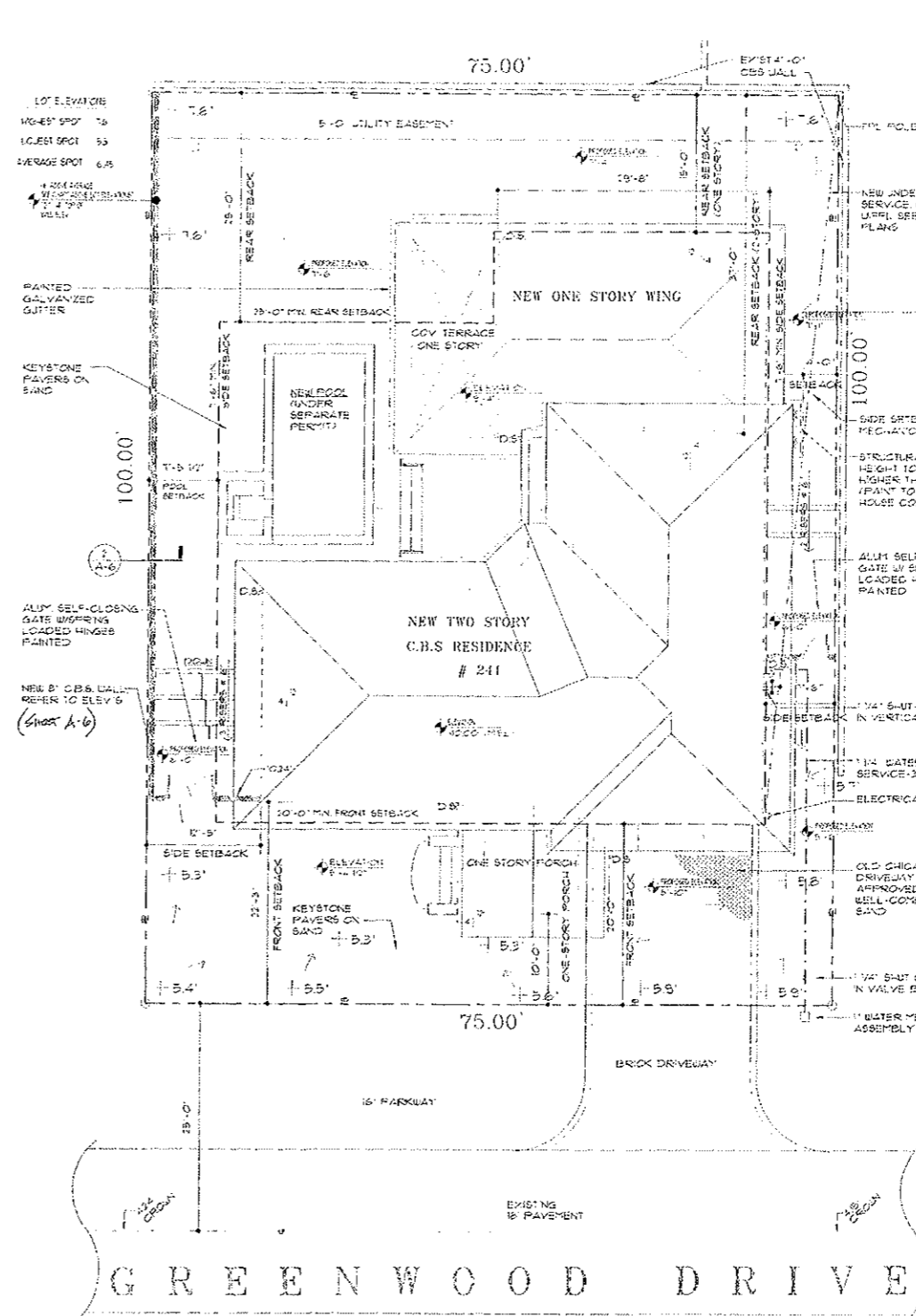
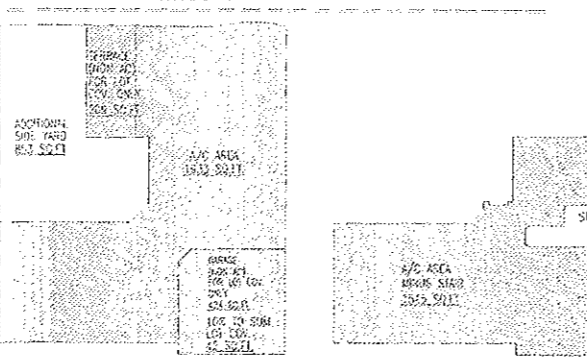
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DEMOLITION PLAN



SITE PLAN

LEGAL DESCRIPTION: LOT 20 BLOCK 18 SUBDIVISION FOURTH ADDITION TO TROPICAL BEE HOMES ESTATES ON ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 53 AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SITE PLAN NOTES

- 1. REFER TO THE RECORDED PLAN FOR INFORMATION RELATED TO THIS PROPERTY.
2. LOT WILL BE GRADDED TO PREVENT DIRECT OVERLAND DISCHARGE OF SURFSTORM RUN-OFF ADJACENT PROPERTY. GRADE ACCORDING TO PREPARED SPOT ELEVATIONS.
3. REFER TO CURRENT SURVEY FOR SITE BOUNDARIES AND INFORMATION.
4. FLOOD ZONE: AE - FLOOD CRITERIA - 10% OF 100-YEAR FLOOD.

LIST OF DRAWINGS

Table listing drawings including ARCHITECTURAL, MECHANICAL, ELECTRICAL, and LANSCAPING drawings with their respective sheet numbers.

Professional information block for Gonzalez-Abreu Alas, Inc. Architecture, including project details for Ramoski Residence, project number 05-199, and contact information for Carlos Gonzalez-Abreu Architect.

