

Important: Read the instructions on pages 1-8.

ORDER NO. <u>M-7873 B B04-03990</u> SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <u>AABAD MELWANI & RAM MELWANI</u>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>242 FERNWOOD ROAD B</u>		Company NAIC Number
City <u>KEY BISCAYNE</u> State <u>FL</u> ZIP Code <u>33149</u>		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>LOT 1, BLK. 21, FOURTH ADD TO TROPICAL ISLE HOMES SUB. (53-39) MIAMI-DADE COUNTY, FL. FOLIO NO. 24-4232-090-0020</u>		

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RES.

A5. Latitude/Longitude: Lat. 25 41' 44.13" N Long. 80 09' 52.07" W Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 6

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s)	<u>N/A</u> sq ft	A9. For a building with an attached garage, provide:	a) Square footage of attached garage	<u>N/A</u> sq ft
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade	<u>N/A</u>		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade	<u>N/A</u>
c) Total net area of flood openings in A8.b	<u>N/A</u> sq in		c) Total net area of flood openings in A9.b	<u>N/A</u> sq ft

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>KEY BISCAYNE 120648</u>		B2. County Name <u>MIAMI-DADE</u>		B3. State <u>FLORIDA</u>	
B4. Map/Panel Number <u>12025 C 0281</u>	B5. Suffix <u>J</u>	B6. FIRM Index Date <u>07-17-95</u>	B7. FIRM Panel Effective/Revised Date <u>03-02-94</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zones AO, use base flood depth) <u>10.0</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?
Designation Date _____ CBRS OPA Yes No

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations -- Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
Benchmark Utilized MI-11 Vertical Datum NGVD
Conversion/Comments NONE

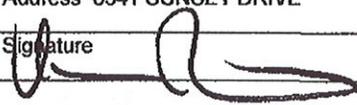
Check the measurement used.

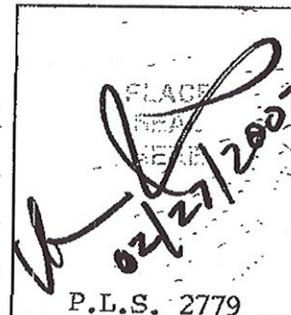
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>4.67</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>*13.08</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>*A/C, N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>4.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>4.5</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>NARCISO J. RAMIREZ</u>		License Number <u>2779</u>	
Title <u>LAND SURVEYOR & MAPPER</u>	Company Name <u>ATLANTIC SERVICES OF FLORIDA</u>		
Address <u>8341 SUNSET DRIVE</u>	City <u>MIAMI</u>	State <u>FL</u>	ZIP Code <u>33143</u>
Signature 	Date <u>FEBRUARY 27, 2007</u>	Telephone <u>305-596-0888</u>	



Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
240 WOODCREST LANE A

Policy Number

City KEY BISCAYNE State FL ZIP Code 33149

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C.O.R. ELEV = 4.5' * FIRST HABITABLE FLOOR IS THE 2ND FLOOR, ELEV = 13.08' * A/C ON TOP OF ROOF

Signature

Date 02/27/2007

Check here if attached

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attached

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E and G) of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

Check here if attached

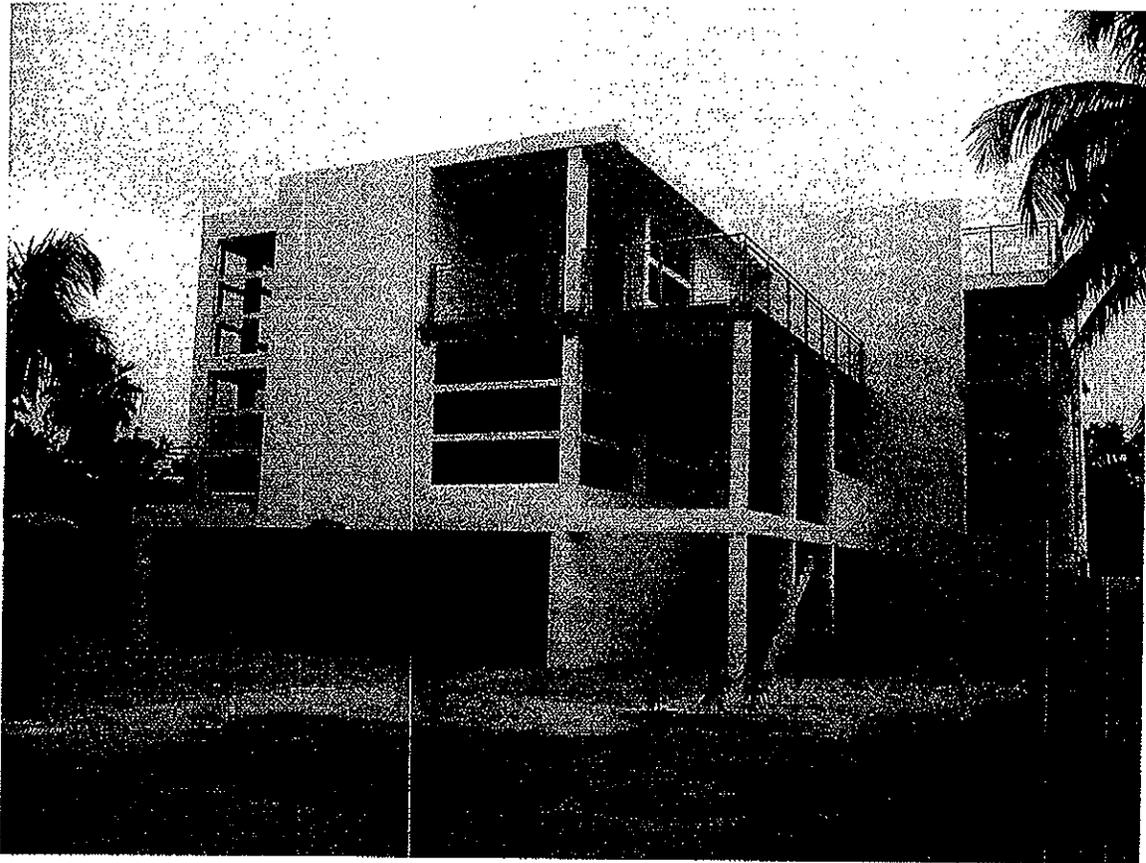
Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 242 FERNWOOD ROAD B	For Insurance Company Use: Policy Number
City KEY BISCAIYNE State FL ZIP Code 33149	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.

FRONT VIEW FEBRUARY 27, 2007



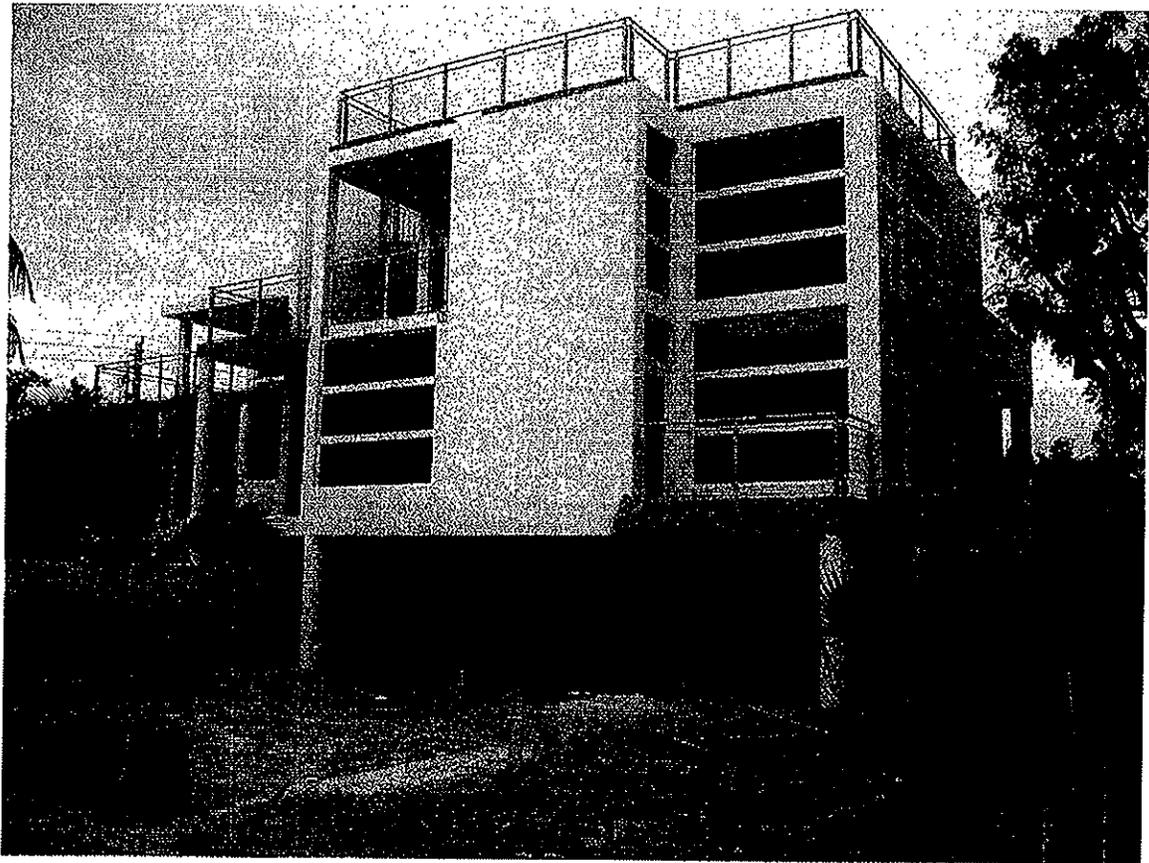
Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 240 WOODCREST LANE A	For Insurance Company Use: Policy Number
City KEY BISCAWAYNE State FL ZIP Code 33149	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.

FRONT VIEW FEBRUARY 27, 2007





VILLAGE OF KEY BISCAIYNE

Department of Building, Zoning and Planning

Village Council

Robert L. Vernon, *Mayor*
Jorge E. Mendia, *Vice Mayor*
Michael Davey
Enrique Garcia
Steve Liedman
Thomas Thornton
Patricia Weinman

Director

Jud Kurlancheck, AICP

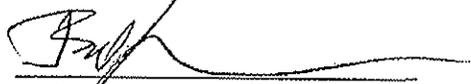
Chief Building Official
Eugenio M. Santiago, P.E.

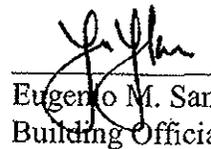
Certificate of Occupancy

Certificate #: CO07060103
Issue Date: 6/1/2007
Building Permit #: B04-03990
Job Site Address: 240-242 Fernwood Rd **Folio #:** 24-42320060810
Ownership: Aabad Melwani
Proposed Use: Duplex
Scope of Work: New Construction

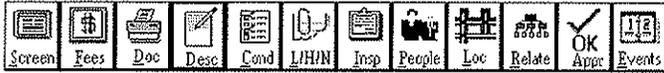
<u>Final Inspection Type</u>	<u>Permit Number</u>	<u>Inspection Date</u>	<u>Inspector</u>
FINAL BUILDING:	B04-03990	05/11/07	J. GARCELL
FINAL ROOF:	B04-06521	03/06/07	J. GARCELL
FINAL ELECTRICAL:	E06-02344	03/20/07	E GUZMAN
FINAL MECHANICAL:	M06-01966	03/01/07	C. LINDGREN
FINAL PLUMBING:	P06-03550	04/13/07	C. LINDGREN
FINAL IRRIGATION SYSTEM:	P07-04234	05/31/07	C. LINDGREN
FINAL PUBLIC WORKS:	PW07-00356	02/28/07	A. NUNEZ
FINAL ZONING:		03/06/07	W. FEHR
FINAL CODE ENFORCEMENT:		06/01/07	S. BONICH

Please be advised that all final inspections on the above referenced structure have been completed in accordance with the South Florida Building Code. Accordingly, the structure may be occupied for its intended use.


Jud Kurlancheck, AICP, Director
Building, Zoning & Planning Department

 LEO LLANOS, P.E. ⁶
Eugenio M. Santiago, P.E. **ACTING**
Building Official **BUILDING OFF**

Permit #: **B04-03990** Address: **240 FERNWOOD RD VKB**
 Status: **ISSUED** OWNER: **AABAD MELWANI**
 Date: **05/27/2004** Notice: **240 FERNWOOD RD VKB 05/27/04** Back Stop
 Title: _____
 History Log (F9)



Description for B04-03990

Description:
NEW CONSTRUCTION. DUPLEX **DERM**

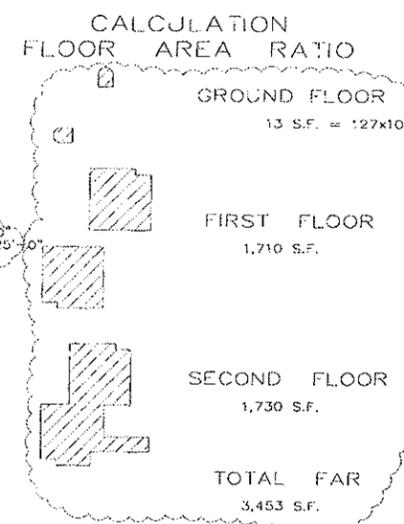
Update
 Reset
 Back
 Exit

ToolBar Order

ZONING LEGEND

ZONING: PS -- PARKSIDE RESIDENTIAL

ITEM	REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT	35.00' (22.5' ABOVE B.F.E.)	28.67' (22.5' ABOVE B.F.E.)
SETBACKS		
FRONT	15'-0" (for 34% of lot width=25.5') / 20'-05"-4" (for 34% of lot width=25.5') / 20'-0"	15'-0" (for 34% of lot width=25.5') / 25'-05"-2" (for 34% of lot width=25.5') / 25'-0"
REAR	15'-0"	15'-0"
SIDE FACING STREET	15'-0"	15'-0"
SIDE	15'-0"	7'-6"
F.A.R. (.30 BASE + .17 BONUS) 0.47 (FLOOR AREA RATIO) (SEE BONUS APPLIED BELOW)	0.469	0.469
3,455 S.F.	3,453 S.F.	3,453 S.F.
MAXIMUM LOT COVERAGE	35.00%	31.7% (2,330 S.F.)
AREAS		
LOT AREA	7,351 S.F.	



FAR BONUS CRITERIA SCHEDULE FOR SINGLE FAMILY

BONUS CRITERIA	FAR INCREASE	PROJECT	BONUS
1. Porch facing a street	.00005 Per sq. ft. of Floor Area to a maximum of .03 FAR increase	Porch : 978 s.f. x .00005	Bonus = .03
2. Open and unenclosed balconies located above the first finished floor	.00005 Per sq. ft. of Floor Area to a maximum of .03 FAR increase	Balcony : 1,370 s.f. x .00005	Bonus = .03
3. Building located 15-20 ft. from a front of property line	.001 per Linear Foot of frontage of a wall that is located 15 - 20 feet from a front property line (maximum .03)	40 Linear feet of wall in 15-20 foot	Bonus = .025
4. Garage or carport containing two or more vehicles parked parallel with an exterior column separating each of the spaces	.03		Bonus = N/A
5. Single story home	.03		Bonus = N/A
6. Combination one and Two Story Home with the second floor occupying less than 50 percent of the floor area of the first floor under roof	.10		Bonus = N/A
7. Entrances to parking garages: Interior lot : placed in location that does not face the street. Corner lot : entrance in a Site Yard	.02		Bonus = N/A
8. All windows above the first floor facing on adjacent Building which are five ft. does not face the street above the finished floor or if a Building Wall along the interior side of property do not have windows	.01 per side .03 per home side		Bonus = N/A
9. Side yard setback which: a. Exceeds the required Yard b. Has a minimum 15 ft. Side Yard Setback	.0005 per each s.f. to a maximum of .03		Bonus = N/A
10. Building located within 15 - 20 ft. of the rear Lot line	0.001 per linear foot of a wall located 15 - 20 feet from the rear property line with a maximum of .03	40 Linear feet of wall in 15-20 foot	Bonus = .03
11. V1 and PS Districts: Structures that provide a front Setback of less than 25 ft. which have a roof at least three ft. lower than the roof of the main structure. IR and VE Districts: A portion of the Building having a length of at least ten ft. with a Front Yard Setback that exceeds the required 25 ft. Setback.	.0002 per s.f., maximum .03		Bonus = .03
12. Reduction in Building Height:	.006 per foot or fraction thereof with a maximum of .03 (35' - 22'-6" = 12'-6" x 0.006 = 0.75)		Bonus = .03
			TOTAL Bonus 0.1755
			Maximum Bonus 0.17
			Plus Base FAR 0.30
			TOTAL FAR applicable to project = 0.47

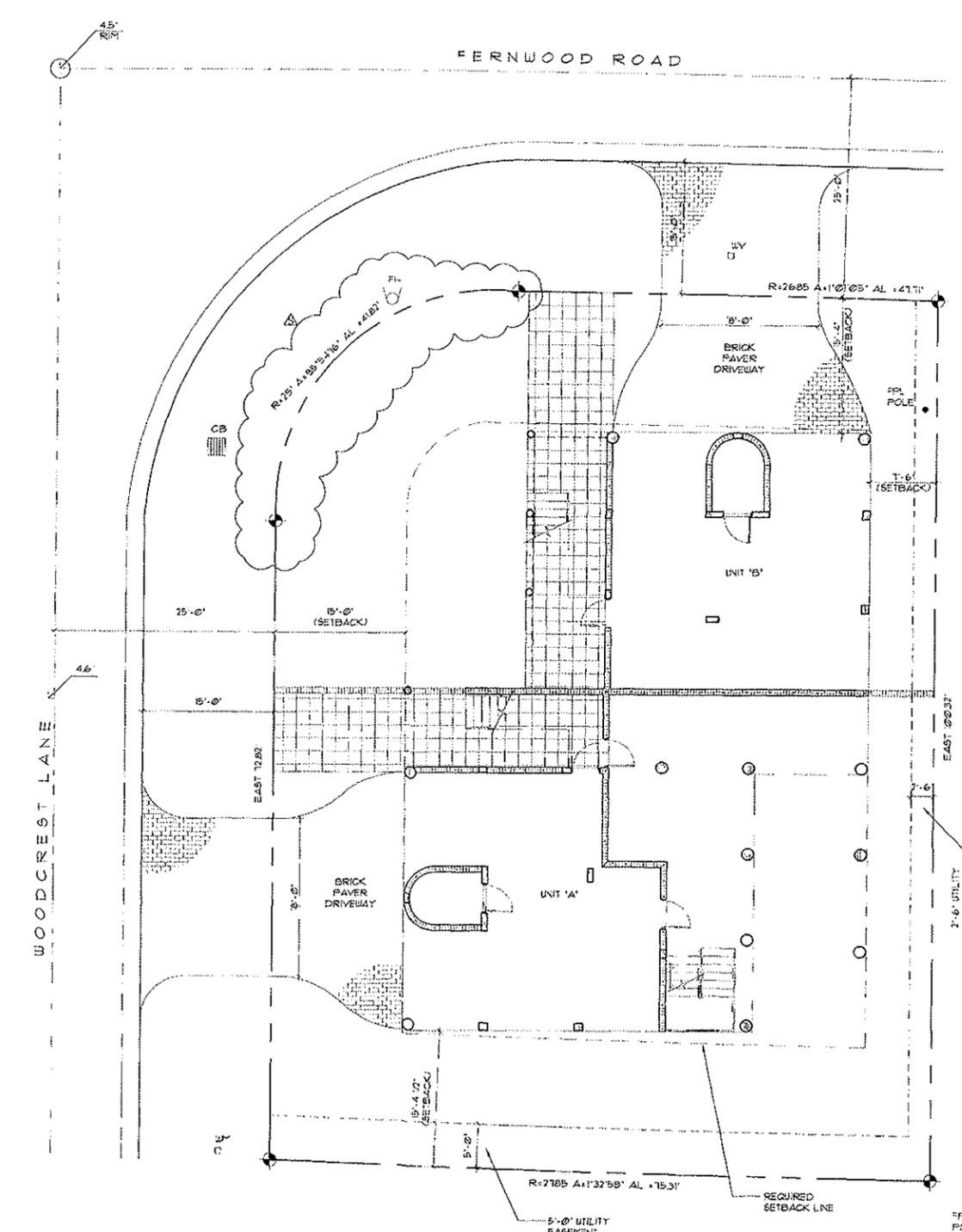
INDEX OF DRAWINGS

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A-3 FLOOR PLAN / ROOF PLAN	S-5 ROOF FRAMING PLAN
A-3ASCHEDULES	E-1 ELECTRICAL SITE PLAN / FLOOR PLAN
A-4 EXTERIOR ELEVATIONS	E-2 ELECTRICAL FLOOR PLANS
A-5 EXTERIOR ELEVATIONS	E-3 ELECTRICAL RISER DIAGRAM / NOTES
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S-3AFRAMING DETAILS	P-5 SANITARY PLAN / ISOMETRICS
S-3BFRAMING DETAILS	P-6 PLUMBING NOTES / DETAILS

LEGAL DESCRIPTION

ADDRESS: 240 FERAWOOD DRIVE, KEY BISCAYNE, FLORIDA 33149
 LOT: 1 BLOCK: 21 OF FOURTH ADDITION TO TROPICAL ISLE HOMES SUBDIVISION
 ACCORDING TO THE PLAT THERE OF AS RECORDED IN
 PLAT BOOK: 53 PAGE: 39 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
 HIGHEST CROWN OF ROAD ELEV: +4.6 FT. N.G.V.D.
 WAS TAKEN FROM A CERTIFIED SURVEY PREPARED BY: ATLANTIC SERVICES OF FLORIDA
 B341 SUNSET DRIVE
 MIAMI, FLORIDA 33143
 (305) 596-0888

OWNER : AABAD MELWANI



SITE PLAN 1/8"=1'-0"

Vilaverde Development Corp.
 Architecture Planning Construction Management
 350 Sevilla Avenue Suite 104 Coral Gables, FL 33134
 (305) 248-0909 Fax: (305) 598-2328 License # AA0003566

MELWANI RESIDENCE
 240 FERWOOD ROAD
 KEY BISCAYNE, FL 33149
 (305) 361-1900

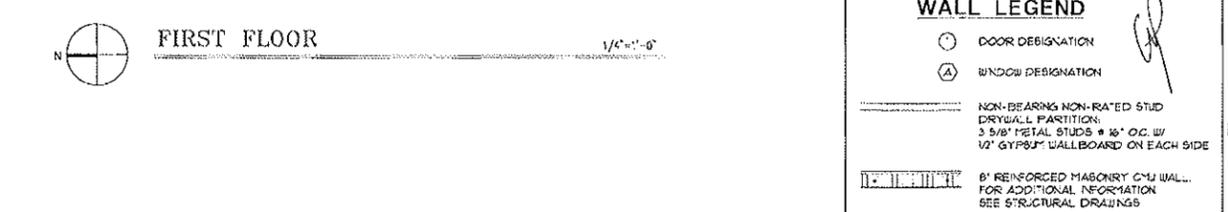
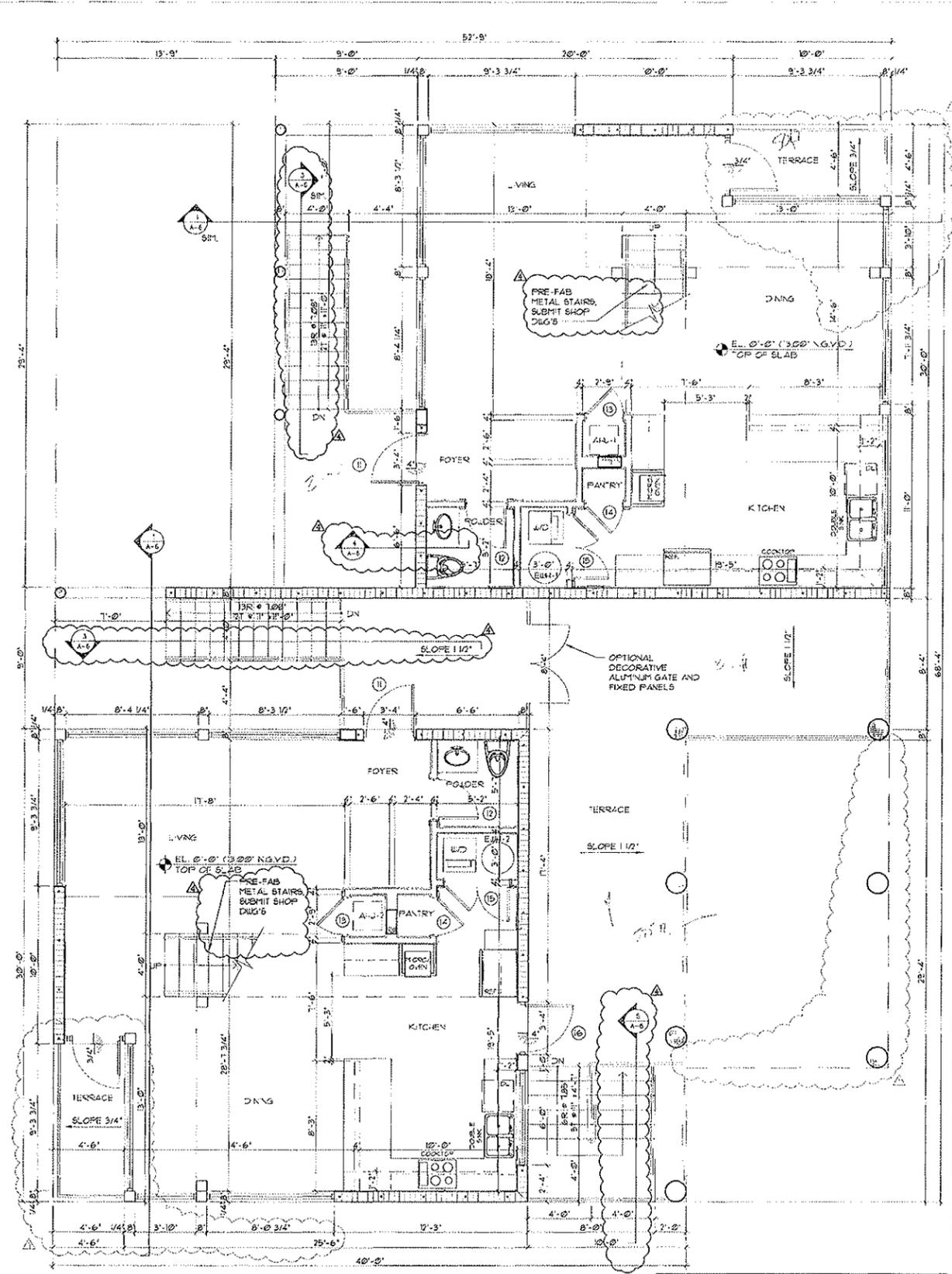
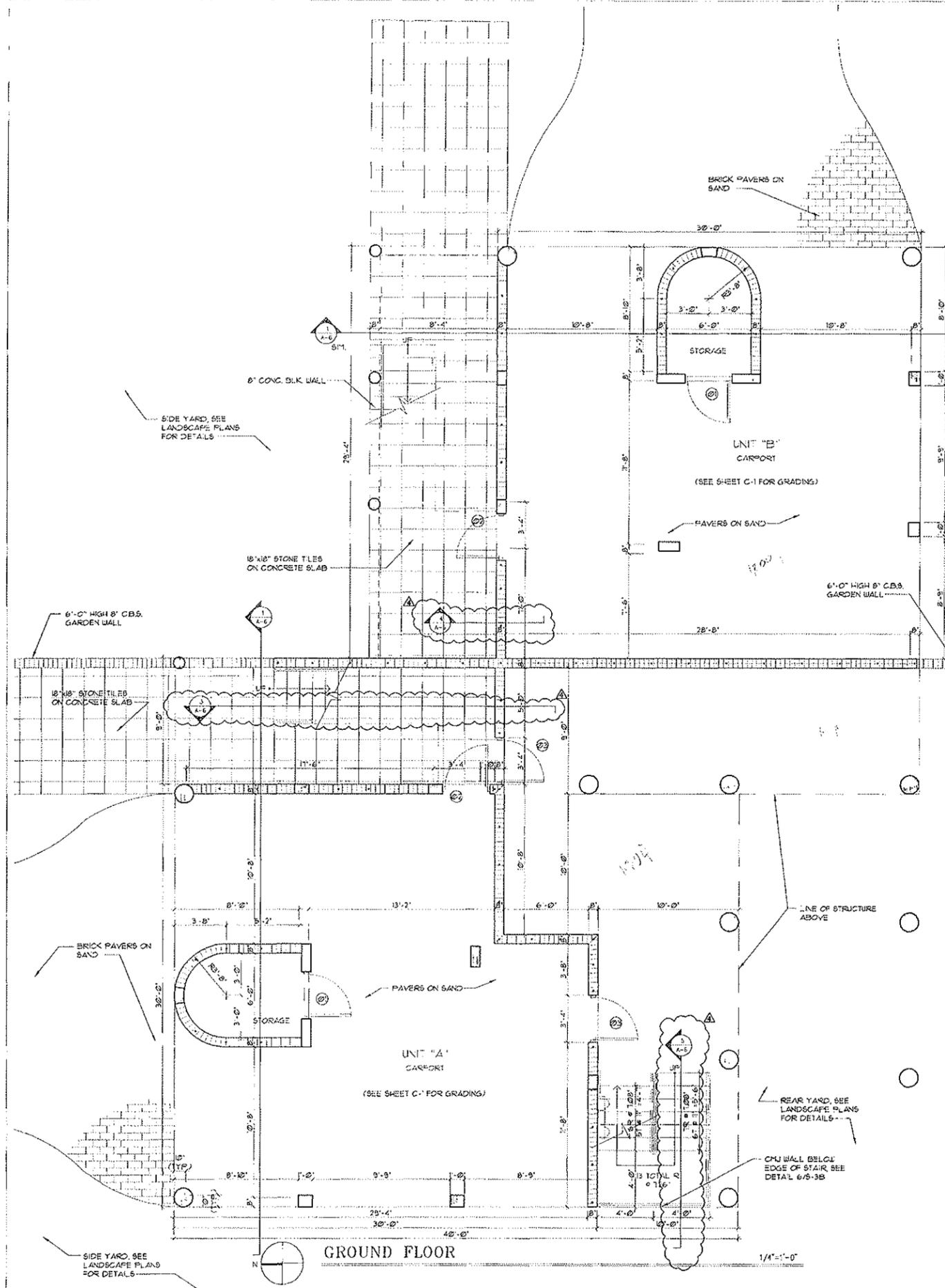
Richard J. Vilaverde
 License # AR001897

REVISIONS
 07.06.03 BLDG. DEPT.
 07.27.03 BLDG. DEPT.
 08.08.2005 SURVEY

05.20.2004 PLUMB. S.I.
 03-2000 PROJECT NUMBER

SHEET INDEX
 SITE PLAN /
 GRADING & DRAINAGE /
 ZONING INFO /
 GENERAL NOTES

SHEET NUMBER
 A-1 OF 6



Villaverde Development Corp.
 Architecture □ Planning □ Construction Management
 350 Sevilla Avenue □ Suite 104 □ Coral Gables, FL 33124
 (305) 248-0909 □ Fax: (305) 598-2328 □ License # AAC003568

MELWANI RESIDENCE
 240 FERNWOOD ROAD
 KEY BISCAYNE, FL 33149
 (305) 361-1900

Richard J. Villaverde
 License # AR0013957
 4-21-05

REVISIONS

Δ 07.06.03	BIDD. DEPT.
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE COMMENCING CONSTRUCTION. ANY CHANGES SHALL BE APPROVED BY ARCHITECT.

05-30-2004	PERMIT SET
03-000	PROJECT NUMBER

SHEET INDEX
 GROUND FLOOR PLAN / 1ST FLOOR PLAN

SHEET NUMBER
A-2 OF **6**