

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires February 28, 2009

Important: Read the instructions on pages 1 - 8.

C.O.R. = 4.99 FT

4-0011430-10 B07-05000 SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name GIL RON		For Insurance Company Use:	
A2. Building Street Address (including Apt., Unit, Suite and/or Bldg. No.) or P.O. Route and Box No. 252 HAMPTON LANE		Policy Number	
City KEY BISCAIYNE		State FL	ZIP Code 33149
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 16, Block 25, of TROPICAL ISLE HOMES SUBDIVISION 4TH ADDITION, according to the plat thereof as recorded in Plat Book 53, Page 39, of the public records of MIAMI-DADE county, Florida.		Folio#: 2442320062050	
A4. Building Use (e.g. Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL			
A5. Latitude/Longitude: Lat. 25° 41' 48.92" Long. 80° 10' 02.87" Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983			
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number <u>8</u>			
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:	
a) Square footage of crawl space or enclosure(s) <u>2603.0</u> sq ft	a) Square footage of attached garage <u>400.00</u> sq ft		
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <u>12</u>	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>4</u>		
c) Total net area of flood openings in A8.b <u>3433.0</u> sq in	c) Total net area of flood openings in A9.b <u>864.00</u> sq in		

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number KEY BISCAIYNE 120648		B2. County Name MIAMI-DADE		B3. State FL	
B4. Map/Panel Number 12025C0281	B5. Suffix J	B6. FIRM Index Date 07/17/1995	B7. FIRM Panel Effective/Revised Date 03/02/1994	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 10 FT
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe):					
B11. Indicate the elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe):					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

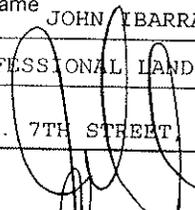
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
Benchmark Utilized DCBM #V-313-A LOCATOR 0021 KB Vertical Datum NGVD 1929
Conversion/Comments N/A

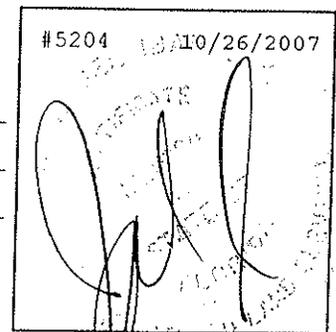
	Check the measurement used.	
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	6.56 <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
b) Top of the next higher floor	10.40 <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
c) Bottom of the lowest horizontal structural member (V zones only)	N/A <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
d) Attached garage (top of slab)	7.10 <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	10.28 <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
f) Lowest adjacent (finished) grade (LAG)	6.43 <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
g) Highest adjacent (finished) grade (HAG)	6.68 <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>JOHN BARRA</u>		License Number <u>5204</u>	
Title <u>PROFESSIONAL LAND SURVEYOR</u>	Company Name <u>NOVA SURVEYORS, INC.</u>		
Address <u>5582 N.W. 7TH STREET, SUITE 202</u>	City <u>MIAMI</u>	State <u>FL</u>	ZIP Code <u>33126</u>
Signature 	Date <u>10/26/2007</u>	Telephone <u>(305) 264-2660</u>	



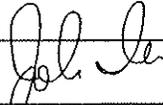
IMPORTANT: In these spaces, copy the corresponding information from Section A.		4-0011430-10	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite and/or Bldg. No.) or P.O. Route and Box No. 252 HAMPTON LANE			Policy Number
City KEY BISCAIYNE	State FL	ZIP Code 33149	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Section C 2(e) lowest elevation machinery is the A/C pad.

Crown of Road Elevation = 4.99 FT

Signature  Date 10/26/2007 Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grate (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name
GIL RON

Address 252 HAMPTON LANE City KEY BISCAIYNE State FL ZIP Code 33149

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum: _____
- G9. BFE or (in ZONE AO) depth of flooding at the building site: _____ feet meters (PR) Datum: _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments

Building Photographs

4-0011430-10

See Instructions for Item A6.

For Insurance Company Use:

Building Street Address (including Apt., Unit, Suite and/or Bldg. No.) or P.O. Route and Box No.

Policy Number

252 HAMPTON LANE

City
KEY BISCAIYNE

State
FL

ZIP Code
33149

Company NAIC Number



Front View

Date of Photograph: 10/26/2007



Rear View

Date of Photograph: 10/26/2007

Building Photographs

4-0011430-10

Continuation Page

For Insurance Company Use:

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Policy Number:

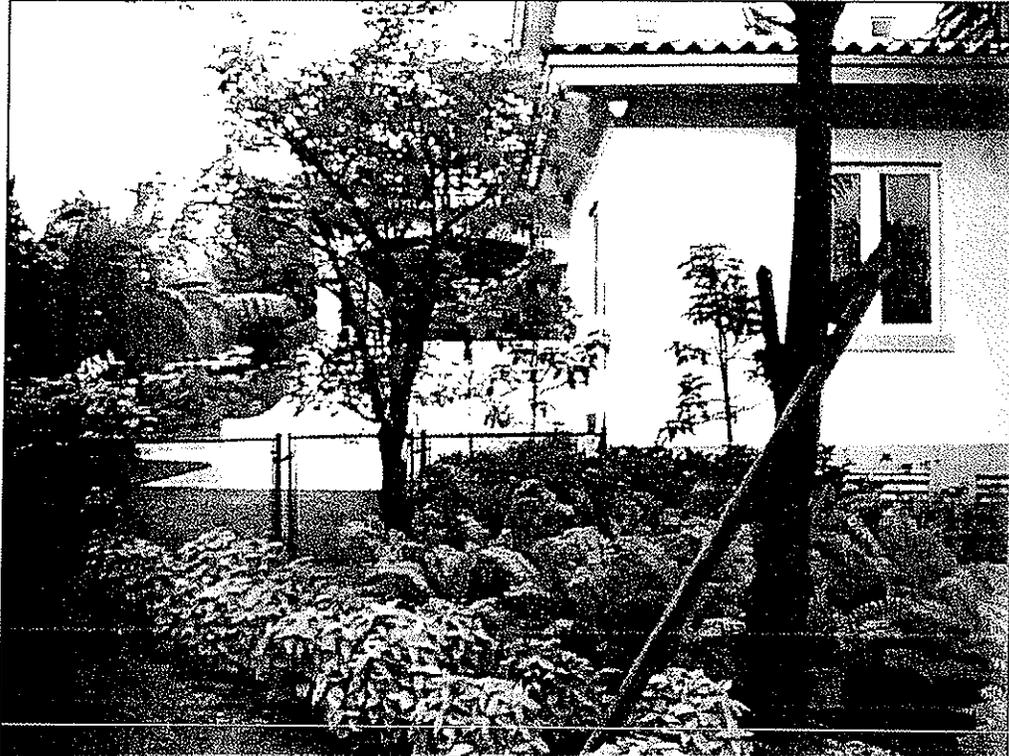
252 HAMPTON LANE

City
KEY BISCAYNE

State
FL

ZIP Code
33149

Company NAIC Number



Left Side View

Date of Photograph: 10/26/2007



Right Side View

Date of Photograph: 10/26/2007



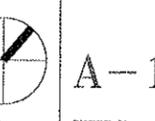
RICHARD CORTES
ARCHITECT
 AR# 0014286
 7700 SW 115 ST
 PINECREST, FLORIDA 33156
 PH:305 233-6858 FAX:305 233-4858



NEW RESIDENCE FOR:
MRS. MYRIAM ROJAS
 252 HAMPTON LANE
 KEY BISCAYNE, FLORIDA 33149

SHEET NAME:
SITE PLAN

SYN	REVISION-RECORD
07-20-00	
08-17-00	
DATE:	06-24-05
DRAWN BY:	APM
SCALE:	1/8" = 1'-0"
PROJECT NO.:	06-05



FLOOD LEGEND
 RESIDENTIAL NEW CONSTRUCTION

ADDRESS : 2280 SW 105 ST
 LOTS: 10 BLOCK: 25 PLAT BOOK: 53 PAGE: 38
 HIGHEST CROWN OF ROAD ELEV. NGVD.
 HIGHEST CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY PREPARED BY: PLS LIC #

	LOWEST FLOOR ELEVATION	GARAGE/STORAGE FLOOR ELEV.	ADJACENT/GRADE ELEVATION	SWALE AREA ELEVATION
PROPOSED	10.0' N.G.V.D.	6.75' N.G.V.D.	6.25' N.G.V.D.	4.75' N.G.V.D.

ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION (B.F.E.)

ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVRES, FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.

ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOW THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.

THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.

0'-0" = 10.0' N.G.V.D.

MAXIMUM LOT COVERAGE

MAXIMUM	35%	(3,948.35 SF)
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MINIMUM PERVIOUS AREA

MINIMUM	30%	(3,364.30 SF)
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LANDSCAPED AREA PROVIDED = 4,674.82 SQ.FT. = 41.44%

BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT = 35'-0"
 PROPOSED BUILDING HEIGHT = 29'-6"

MAXIMUM FLOOR AREA RATIO

FAR 47.00% (5,302.07 SF)

GROUND FLOOR SQ.FT. = 2,454.00 SQ.FT.
 GARAGE (10% OF 493.00) = 49.00 SQ.FT.
 SECOND FLOOR SQ.FT. = 2,001.00 SQ.FT.
 VOLUME 100% SQ.FT. = 574.00 SQ.FT.
 TOTAL FLOOR AREA = 5,078.00 SQ.FT. = 45.01%

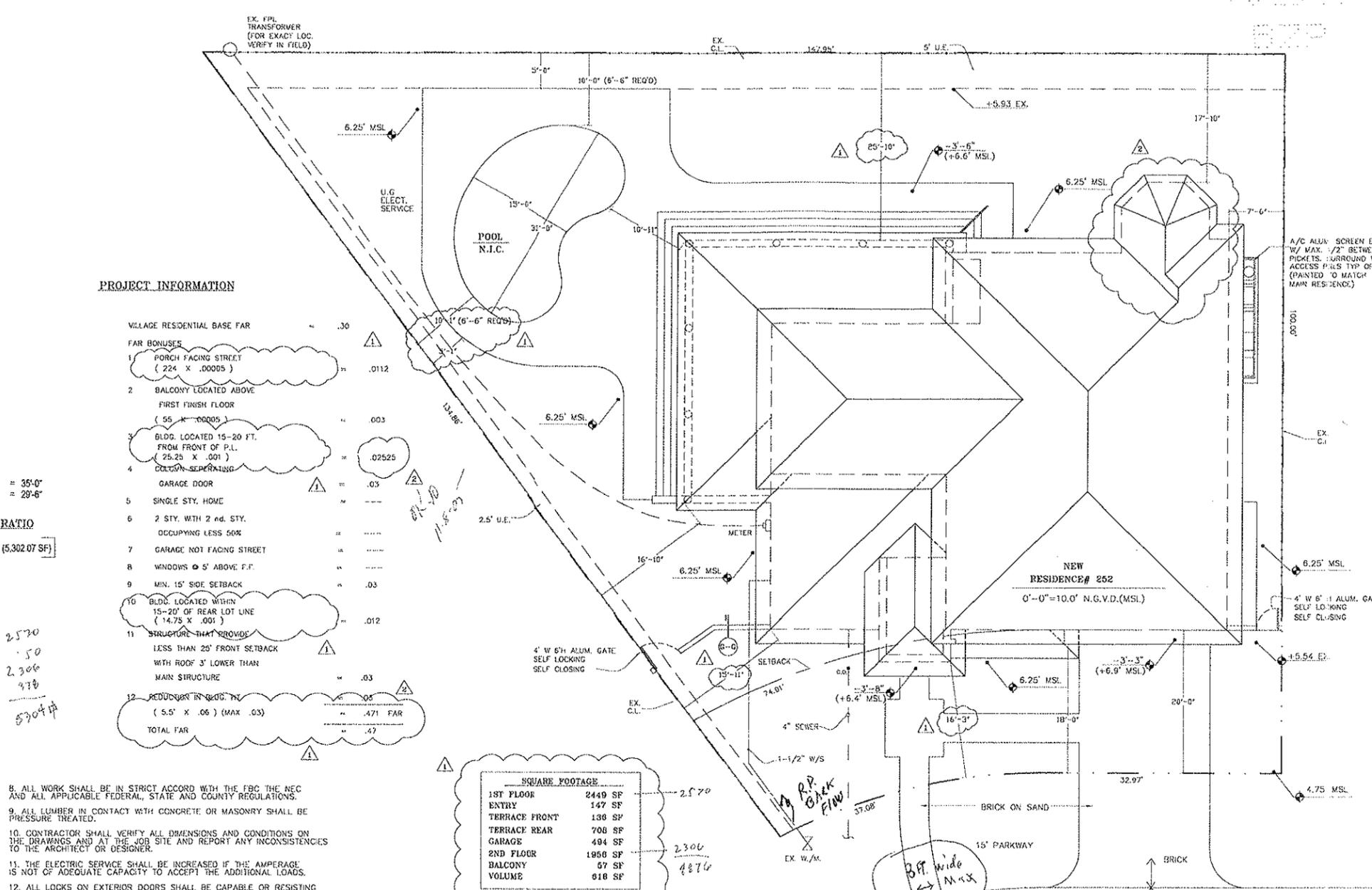
SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ADJUTING THE PROPERTY.

AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO LAKE OR CANAL.

LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER ONTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

NOTES:
 IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, SECTION FLORIDA STATUTES, EFFECTIVE 7/ 10/ 87.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. PLEASE NOTIFY ARCHITECT BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES IF ANY.
 - THE CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
 - ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND THE BEAMS SHALL REACH 3000 PSI COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
 - CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATION WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
 - CONTRACTOR/OWNER SHALL NOTIFY ARCHITECT IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT PROJECT.
 - ELECTRICAL INSTALLATION DESIGN OF THIS PLAN IS IN COMPLIANCE AS SET FORTH BY STATE OF FLORIDA STATUS MODEL ENERGY EFFICIENCY CODE.



PROJECT INFORMATION

VILLAGE RESIDENTIAL BASE FAR	=	.30
FAR BONUSES		
1 PORCH FACING STREET (224 X .00005)	=	.0112
2 BALCONY LOCATED ABOVE FIRST FINISH FLOOR (55 X .00005)	=	.003
3 BLDG. LOCATED 15-20 FT. FROM FRONT OF P.L. (25.25 X .001)	=	.02525
4 COLUMN SEPARATING GARAGE DOOR	=	.03
5 SINGLE STY. HOME	=	---
6 2 STY. WITH 2 nd. STY. OCCUPYING LESS 50%	=	---
7 GARAGE NOT FACING STREET	=	---
8 WINDOWS 5' ABOVE F.F.	=	---
9 MIN. 15' SIDE SETBACK	=	.03
10 BLDG. LOCATED WITHIN 15-20' OF REAR LOT LINE (14.75 X .001)	=	.012
11 STRUCTURE THAT PROVIDE LESS THAN 25' FRONT SETBACK WITH ROOF 3' LOWER THAN MAIN STRUCTURE	=	.03
12 REDUCTION IN BLDG. IN (5.5' X .06) (MAX .03)	=	.471 FAR
TOTAL FAR	=	.47

SQUARE FOOTAGE

1ST FLOOR	2449 SF
ENTRY	147 SF
TERRACE FRONT	138 SF
TERRACE REAR	708 SF
GARAGE	494 SF
2ND FLOOR	1958 SF
BALCONY	57 SF
VOLUME	918 SF

ZONING LEGEND

ZONING: VR (VILLAGE RESIDENTIAL)

LOT SIZE: 11,281.0 SQ.FT.
 LOT COVERAGE ALLOWED: 11,281 SQ.FT. X 35% = 3,948.3 SQ.FT.
 LOT COVERAGE PROPOSED: 3,928.0 SQ.FT.

SET BACKS REQUIRED - PROVIDED

SET BACKS	REQUIRED	PROVIDED
FRONT 34%	20'	20'-0"
FRONT 15%	15'	17'-2"
FRONT 34% WITH	25.5'	25'-3"
REAR	25'	25'-0"
REAR 34%	15'	17'-10"
SIDE	7.5'	7'-8"
SIDE	13.1'	16'-5"

- ALL WORK SHALL BE IN STRICT ACCORD WITH THE FBC THE NEC AND ALL APPLICABLE FEDERAL, STATE AND COUNTY REGULATIONS.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND AT THE JOB SITE AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT OR DESIGNER.
- THE ELECTRIC SERVICE SHALL BE INCREASED IF THE AMPERAGE IS NOT OF ADEQUATE CAPACITY TO ACCEPT THE ADDITIONAL LOADS.
- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OR RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE BC
- HINGLES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINN.
- N/A
- N/A
- SEE SOIL REPORT
- N/A
- SLAB ON FILL: SHALL BE PLACED ON CLEAN ORGANIC SOIL. THOROUGHLY MOISTENED BEFORE CONCRETE IS POURING. SHALL BE POURING IN A CHECKERBOARD SEQUENCE EACH FRAGMENT OF WHICH IS NOT EXCEED A MAXIMUM AREA OF 625 SF OR 30 LF IN ANY DIRECTION.
- FIRESTOPPING: FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES BOTH VERTICAL AND HORIZONTAL. REQUIRE FIRESTOPS SHALL BE CONTINUOUS AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. 1" X 4" P.T. AT LEAST SHALL BE CONSIDERED AS FIRESTOPPING DEVICE. AND SHALL CONFORM EFFECTIVE FIRE BARRIERS BETWEEN A STORY AND ROOF SPACE.
- FURRING: 1" X 2" P.T. FURRINGS SHALL BE INSTALLED SPACED 16" O/C WITH AT LEAST ONE CUT NAIL IN ALTERNATE COURSE OF BLOCK.
- SOFFIT VENTILATION: SHALL BE AN INTERMITTENT VENT WITH BREAKS NOT GREATER THAN 4 FEET. SHALL BE KEPT CLEAR OF OBSTRUCTIONS, INCLUDING INSULATION TO ALLOW PROPER AIR FLOW.
- DRIP STRIP ON EAVES AND GABLE SHALL HAVE A ROOF FLANGE NOT LESS THAN 2" WIDE. THE METAL PROFILE SHALL BE NAILED WITH A MINIMUM 12 GAGE ANNUAL RING SHANK NAIL AT 4" O.C. WITH A NON FERROUS NAIL. THE BOTTOM OF THE DRIP EDGE SHALL HAVE A MINIMUM OF 1/2" CLEARANCE FROM THE STRUCTURE. DRIP SIZE WILL BE 3"X3" WITH NOT LESS THAN 26 GALVANIZED OR STAINLESS STEEL.

LEGAL DESCRIPTION:

LOT 16, BLOCK 25, SUBDIVISION FOURTH ADDITION TO TROPICAL ISLE HOMES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 53, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.