

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
B65204905 A1. Building Owner's Name RICARDO RAINELMAN AND ELENA RAINELMAN		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 300 WEST MC INTIRE STREET		Company NAIC Number
City KEY BISCAYNE	State FLORIDA	ZIP Code 33149
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) E-25' OF LOT 8 & ALL LOT 9, BLOCK 12 - 2ND ADD TO TROPICAL ISLES HOMESUBD. (PB 50-P75)		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL		
A5. Latitude/Longitude: Lat. N 25° 41' 26.38" N Long. 80° 10' 13.62" W Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number B		
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) 2347 sq ft	b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade 7	a) Square footage of attached garage _____ sq ft
c) Total net area of flood openings in A8.b 6,810 sq in		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____
		c) Total net area of flood openings in A9.b _____ sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number KEY BISCAYNE FL. 12044B		B2. County Name MIAMI-DADE	B3. State FLORIDA
B4. Map/Panel Number 12025C02B1	B5. Suffix T	B6. FIRM Index Date 07/17/95	B7. FIRM Panel Effective/Revised Date 03/02/94
		B8. Flood Zone(s) A.E.	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 10
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____			
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____			
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA			

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations -- Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
 Benchmark Utilized **BM K-B7R (SEE COMMENTS)** Vertical Datum **NGVD 29**
 Conversion/Comments _____

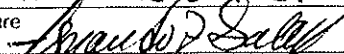
Check the measurement used.

a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>5.9</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>10.0</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u> <input type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>5.3</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>10.0</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.2</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>7.3</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

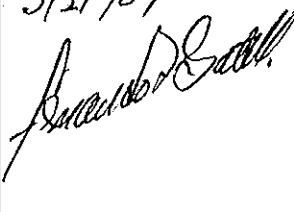
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name FERNANDO GATELL		License Number 2821
Title VICE-PRESIDENT	Company Name F.L. ALLENAN & ASSOCIATES	
Address 10305 NW 41 ST	City MIAMI	State FL
	ZIP Code 33178	
Signature 	Date 3/21/07	Telephone (305) 591-8777

FL LS #2821

3/21/07



IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 300 WEST MC. INTILE STREET			Policy Number	
City RY DISCAYNE	State FL	ZIP Code 33149	Company NAIC Number	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments
**BM USED - MIAMI-DADE COUNTY PUBLIC WORK DEPARTMENT K-B-7-K LOCATOR 0020 KB
ELEVATION 4.56 FEET (NGVD 1929) - IS A P.K NAIL & BRASS WASHER IN CONC. SIDEWALK
1 FOOT EAST OF WOOD UTILITY POLE. 43' WEST OF HARBOR DR. & 13' SOUTH OF HEATHER**

Signature _____ Date _____

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

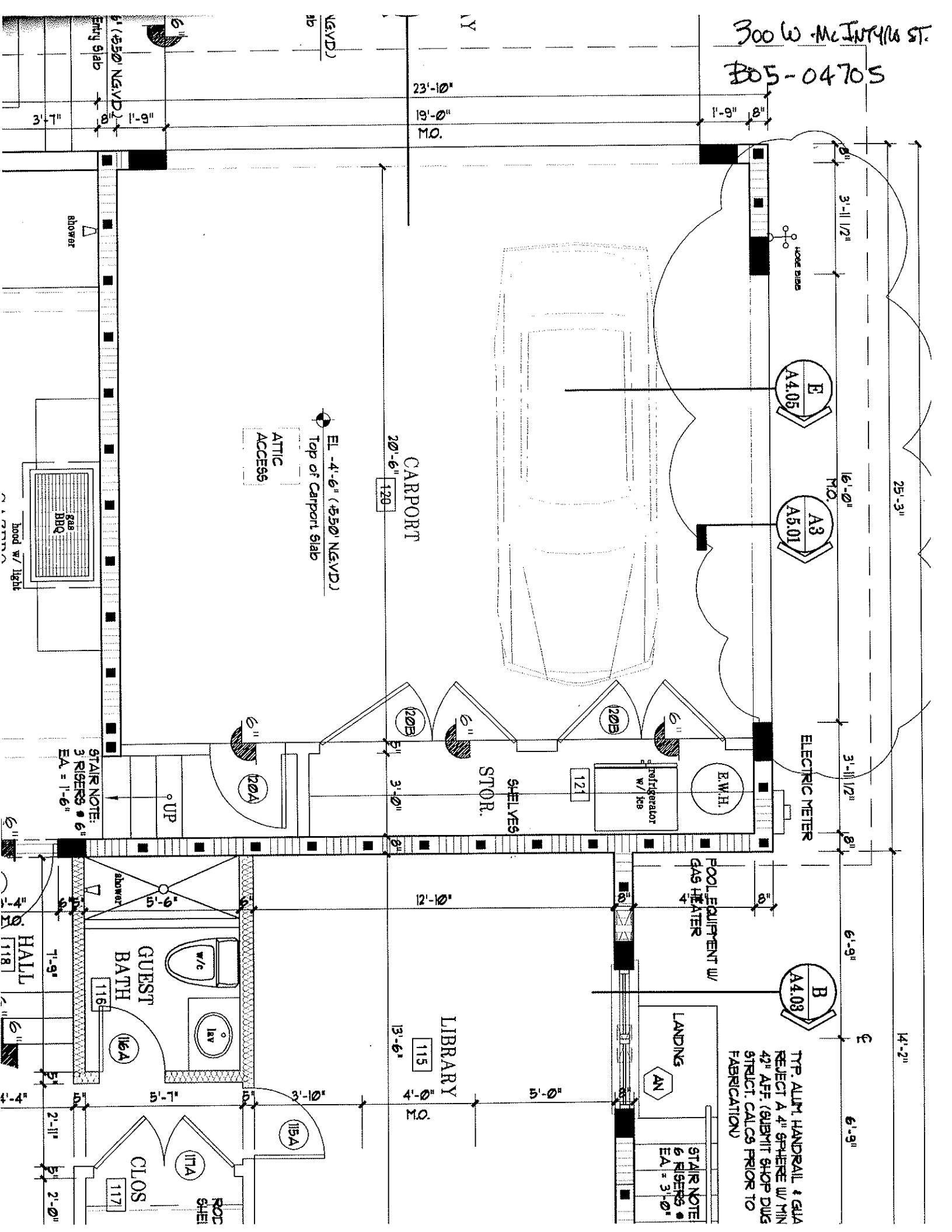
G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

Check here if attachments

300 W. McINTYRE ST.
B05-04705



VILLAGE

ARCHITECTS
OF KEY BISCAYNE INC.
A.A. 0002682

ARCHITECTS
PLANNERS
INTERIOR DESIGNERS

300 W. MCINTIRE STREET
KEY BISCAYNE, FLORIDA 33149
TEL: 305-361-9974 FAX: 305-361-9974
E-MAIL: ARCHIT@VILLAGEA.A.

CONSULTANTS

Structural: J. M. ...
Mechanical / Electrical: ...
Landscape: ...

MECHANICAL / ELECTRICAL: ...
LANDSCAPE: ...

LANDSCAPE & ASSOCIATES: ...
MECHANICAL & ELECTRICAL: ...

THE RAINIERMAN RESIDENCE

300 W. MCINTIRE STREET
KEY BISCAYNE, FL 33149

OWNERS
RICARDO & ELENA
RAINIERMAN
300 W. MCINTIRE STREET
KEY BISCAYNE, FL 33149
305.361.9974

Mark	Date	Description
03-02-05	03-02-05	Site Plan
03-02-05	03-02-05	Site Plan
03-02-05	03-02-05	Site Plan
03-02-05	03-02-05	Site Plan

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

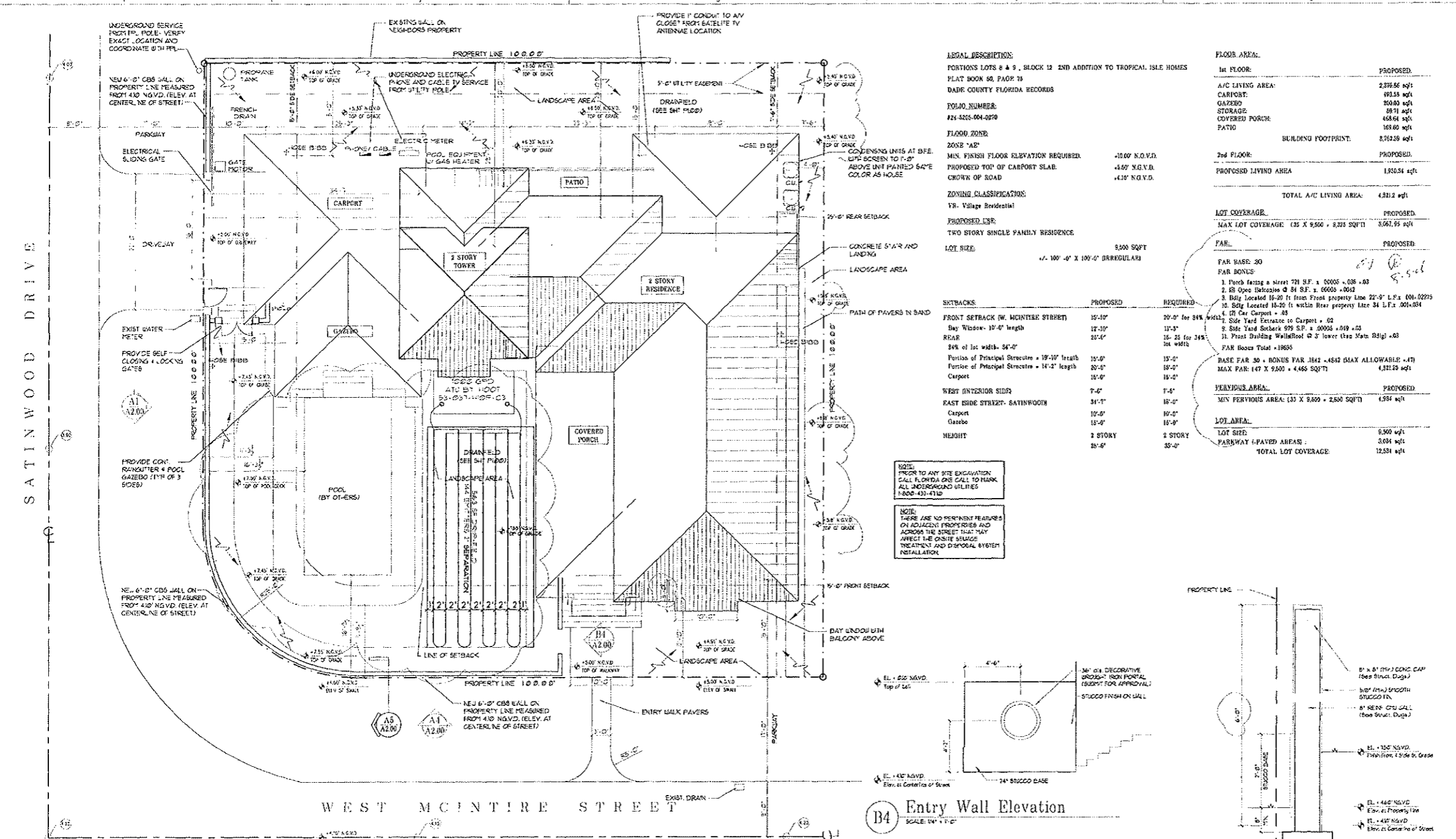
ARCHITECT: ...

AA: 0002682
PROJECT No.: PARS 2004
SHEET No.: 100-A2200-06
DRAWN BY: ...
CHECKED BY: ...
DATE: ...

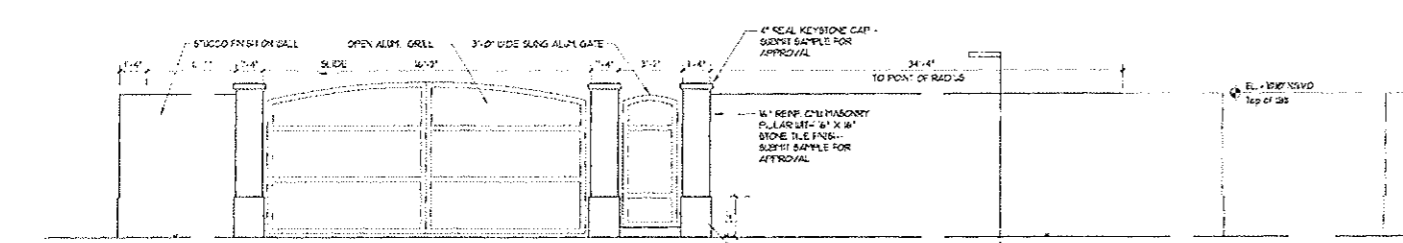
SITE PLAN / SITE DATA

SHEET No. **A2.00**

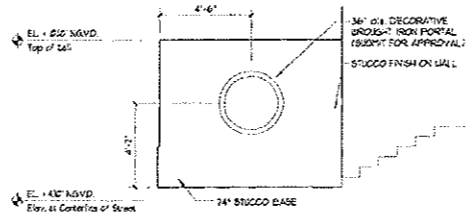
Sheet 1 of 7



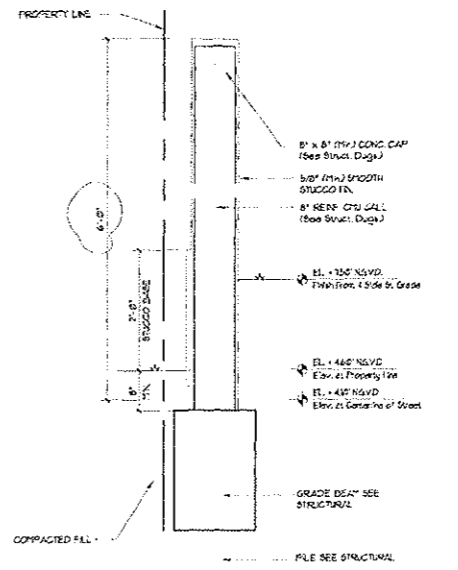
A1 SITE PLAN
SCALE: 1/8" = 1'-0"



A1 Street Garden Wall Elevation
SCALE: 1/4" = 1'-0"



B4 Entry Wall Elevation
SCALE: 1/4" = 1'-0"



A5 Section 3/4"
SCALE: 3/4" = 1'-0"

LEGAL DESCRIPTION:
PORTIONS LOTS 6 & 9, BLOCK 12 2ND ADDITION TO TROPICAL ISLE HOMES
PLAT BOOK 50, PAGE 73
DADE COUNTY FLORIDA RECORDS

POLY NUMBER:
#24-226-004-0220

FLOOD ZONE:
ZONE "AE"
MIN. FINISH FLOOR ELEVATION REQUIRED: +0.00' N.G.V.D.
PROPOSED TOP OF CARPORT SLAB: +4.00' N.G.V.D.
CROWN OF ROAD: +4.10' N.G.V.D.

ZONING CLASSIFICATION:
YR - Village Residential

PROPOSED USE:
TWO STORY SINGLE FAMILY RESIDENCE

LOT SIZE:
5,500 SQFT
1/4 - 100'-0" X 100'-0" (IRREGULAR)

SETBACKS	PROPOSED	REQUIRED
FRONT SETBACK (W. MCINTIRE STREET)	10'-0"	20'-0" for 34% W/4"
Bay Window: 10'-0" length	12'-0"	12'-0"
REAR	20'-0"	15'-0" for 24% W/4"
24% of lot width: 34'-0"		
Portion of Principal Streets = 19'-0" length	10'-0"	15'-0"
Portion of Principal Streets = 14'-2" length	20'-0"	15'-0"
Carport	10'-0"	10'-0"
WEST INTERIOR SIDE	7'-0"	7'-0"
EAST INTERIOR SIDE	31'-0"	15'-0"
Carport	10'-0"	10'-0"
Garage	10'-0"	10'-0"
HEIGHT	2 STORY	2 STORY
	20'-0"	35'-0"

FLOOR AREA:

1st FLOOR:	PROPOSED
A/C LIVING AREA:	2,376.56 sqft
CARPORT:	493.58 sqft
GARAGE:	300.00 sqft
STORAGE:	18.71 sqft
COVERED PORCH:	458.64 sqft
PATIO:	169.60 sqft
BUILDING FOOTPRINT:	2,762.29 sqft
2nd FLOOR:	PROPOSED
PROPOSED LIVING AREA:	1,912.64 sqft
TOTAL A/C LIVING AREA:	4,289.20 sqft

LOT COVERAGE:

PROPOSED	REQUIRED
MAX LOT COVERAGE: (32 X 9,500 = 3,040 SQFT)	3,061.95 sqft

FAR:

PROPOSED	REQUIRED
FAR BASE: 30	
FAR BONUS:	
1. Porch facing a street 721 S.F. x .0005 = .003	
2. 18 Open Decks @ 81 S.F. x .0005 = .009	
3. 18' High Located 15-20 ft from Front Property Line 22'-0" L.F. x .001 = .022	
4. 12' High Located 15-20 ft within Rear Property Line 34 L.F. x .001 = .034	
5. 12' High Located 15-20 ft within Rear Property Line 34 L.F. x .001 = .034	
6. 12' High Located 15-20 ft within Rear Property Line 34 L.F. x .001 = .034	
7. Side Yard Entrance to Carport = .02	
8. Side Yard Entrance 979 S.F. x .0005 = .005	
9. Front Building Walkway @ 3' lower than Main Dsgl = .03	
FAR Bonus Total = .1885	
BASE FAR 30 + BONUS FAR .1882 = 31.82 (MAX ALLOWABLE) (4)	
MAX FAR: (47 X 9,500 = 4,465 SQFT)	4,312.9 sqft

PERMISSIBLE AREA:

PROPOSED	REQUIRED
MIN PERMISSIBLE AREA: (32 X 9,500 = 2,800 SQFT)	4,584 sqft

LOT AREA:

PROPOSED	REQUIRED
LOT AREA:	5,500 sqft
PARKWAY (PAVED AREAS):	3,034 sqft
TOTAL LOT COVERAGE:	12,534 sqft

NOTE:
PRIOR TO ANY SITE EXCAVATION
CALL FLORIDA GAS CALL TO MARK
ALL UNDERGROUND UTILITIES
1-800-431-4710

NOTE:
THERE ARE NO PERTINENT FEATURES
ON ADJACENT PROPERTIES AND
ACROSS THE STREET THAT MAY
AFFECT THE ON-SITE WASTEWATER
TREATMENT AND DISPOSAL SYSTEM
INSTALLATION

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PRIOR TO ANY SITE EXCAVATION
CALL FLORIDA GAS CALL TO MARK
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AFFECT THE ON-SITE WASTEWATER
TREATMENT AND DISPOSAL SYSTEM
INSTALLATION

VILLAGE ARCHITECTS

OF KEY BISCAYNE, INC.
A.A. 0002692

ARCHITECTS
PLANNERS
INTERIOR DESIGNERS

101 GRAND BOULEVARD
SUITE 101
KEY BISCAYNE, FLORIDA 33149
Tel: 305.361.5333, Fax: 305.361.5129
E-Mail: vca@villagearchitects.com

CONSULTANTS

Structural:
John J. ...

Mechanical / Electrical:
JAM Engineering Inc.

Landscaping:
Exquisite & Associates

THE RAINIERMAN RESIDENCE

300 W. McINTIRE STREET
KEY BISCAYNE, FL 33149

OWNERS
RICARDO & ELENA
RAINIERMAN
300 W. McINTIRE STREET
KEY BISCAYNE, FL 33149
305.361.9374

1/2" = 1'-0" SCALE
04-2006 ZONING DISTRICTS
2006 CE PERMITS
04-2006-00000-Submittal
04-2006-00000-Submittal

ALL DIMENSIONS, MANAGEMENT AND PLAN
NOTES OR OTHERWISE BY THE DRAWING
ARE SHOWN BY THE DIMENSIONS OF
THE DRAWING. ALL DIMENSIONS SHALL
BE DEVELOPED TO THE CENTER UNLESS
NOTED OTHERWISE. DIMENSIONS TO
FACE SHALL BE SHOWN UNLESS NOTED
OTHERWISE. THE CONTRACTOR SHALL
VERIFY THE EXISTING CONDITIONS AND
CONFORM TO THE DIMENSIONS AND
NOTES SHOWN ON THE DRAWING. THE
CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS
AND APPROVALS FROM THE
APPLICABLE AGENCIES.

ARCHITECT ASSOCIATES

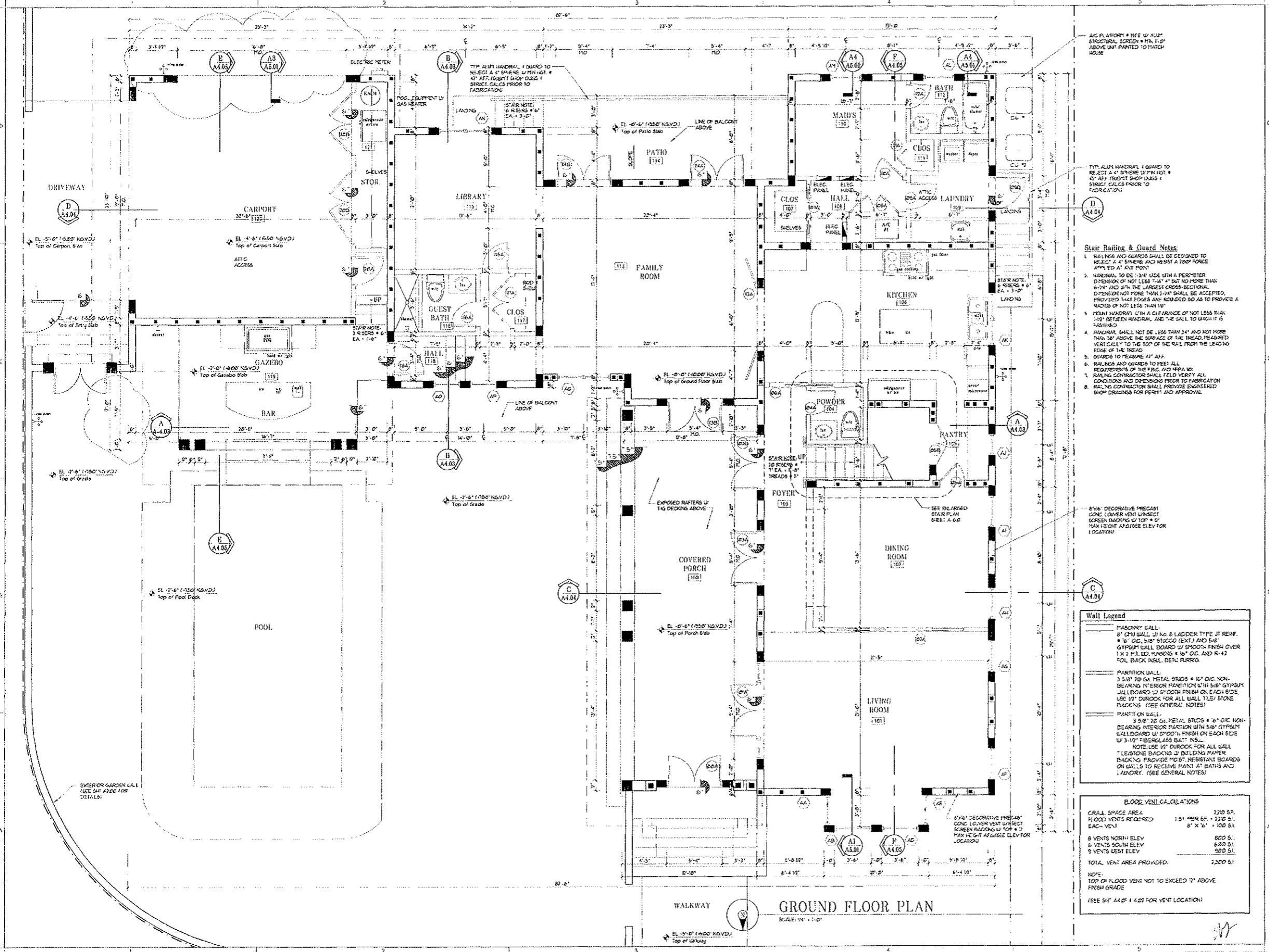
Signature
6/16/07

A.A. 0002692
PROJECT No. PAN-2004
CAD DATE FILE: PAN-20.06.02
DRAWN BY: R.J.C.
CHECKED BY: R.J.C.

GROUND FLOOR PLAN

SHEET No. **A2.01**

Sheet of



A/C PLATFORM # 15# W/ ALUM.
STRUCTURAL SCREEN # 1/2" x 1/2"
ABOVE UNIT PAINTED TO MATCH
HOUSE

TYP. ALUM. HANDRAIL & GUARD TO
MATCH A 4" SPHERE W/ FIN. HGT. #
4" AFF. (5000) 1 SHOT DRESS &
SHRINK CALCS PRIOR TO
FABRICATION

- Stair Railing & Guard Notes:**
1. RAILINGS AND GUARDS SHALL BE DESIGNED TO RESIST A 4" SPHERE AND RESIST A LOAD FORCE APPLIED AT ANY POINT.
 2. HANDRAIL TO BE 1-3/4" DIA. WITH A PERIMETER DIMENSION OF NOT LESS THAN 1" BUT NOT MORE THAN 1-1/4" AND WITH THE LARGEST CROSS-SECTIONAL DIMENSION NOT MORE THAN 2-1/4" SHALL BE ACCEPTED, PROVIDED THAT EDGES ARE ROUNDED SO AS TO PROVIDE A RADIUS OF NOT LESS THAN 1/8".
 3. POUNT HANDRAIL WITH A CLEARANCE OF NOT LESS THAN 1-1/2" BETWEEN HANDRAIL AND THE WALL TO WHICH IT IS FASTENED.
 4. HANDRAIL SHALL NOT BE LESS THAN 3/4" AND NOT MORE THAN 5/8" ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD.
 5. GUARDS TO MEASURE 42" AFF.
 6. RAILINGS AND GUARDS TO MEET ALL REQUIREMENTS OF THE FIG. AND IBC/ADA.
 7. RAILING CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO FABRICATION.
 8. RAILING CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR PERMITS AND APPROVAL.

8" x 8" DECORATIVE PRECAST
CONC. LOWER VENT UNSET
SCREEN BACKING W/ TOP # 2"
MAX HEIGHT AT GAZEBO ELEVATOR
LOCATION

Well Legend

MASONRY WALL	8" CMU WALL W/ NO. 8 LADDER TYPE JT REIN. # 1/2" OC, 5/8" STUCCO (EXT.) AND 5/8" GYPSUM WALL BOARD W/ SMOOTH FINISH OVER 1" x 1" F.I. D. FURROCK # 1/2" OC AND R-13 FOIL BACK INSUL. BENEATH FURROCK.
PARTITION WALL	3 1/2" x 2" GA. METAL STUDS # 1/2" OC NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD W/ SMOOTH FINISH ON EACH SIDE. USE 1/2" DUROCK FOR ALL WALL TILE/STONE BACKING. (SEE GENERAL NOTES)
PARTITION WALL	3 1/2" x 2" GA. METAL STUDS # 1/2" OC NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD W/ SMOOTH FINISH ON EACH SIDE W/ 3/4" FIBERGLASS BATT INSUL. NOTE: USE 1/2" DUROCK FOR ALL WALL TILE/STONE BACKING W/ BUILDING PAPER BACKING PROVIDED MOST RESISTANT BOARDS OR WALLS TO RECEIVE PAINT, BATHS AND LAUNDRY. (SEE GENERAL NOTES)

FLOOD VENTILATION

CRAIL SPACE AREA	3700 SF.
FLOOD VENTS REQUIRED	151' x 6" x 5" x 2" x 5"
EACH VENT	8' x 4' x 1200 SF.
8 VENTS NORTH ELEV.	800 SF.
6 VENTS SOUTH ELEV.	600 SF.
5 VENTS WEST ELEV.	500 SF.
TOTAL VENT AREA PROVIDED:	1900 SF.

NOTE:
TOP OF FLOOD VENT NOT TO EXCEED 7" ABOVE FRESH GRADE
(SEE SHEET A4.01 FOR VENT LOCATION)

GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALKWAY

EL. 0'-0" (1.000' NGVD)
Top of Walkway