

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-8.

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name 155 Woodcrest Lane LLC.	For Insurance Company Use:
	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 432 Warren Lane	Company NAIC Number

City Key Biscayne State FL ZIP Code 33149

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 21, Block 3, First Addition to Tropical Isle Homes Subdivision, Plat Book 50, Page 72, Miami-Dade County, FL.

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25° 41.585' N Long. 080° 10.123' W

Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

- a) Square footage of crawl space or enclosure(s) 1650 sq ft
 b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade 14
 c) Total net area of flood openings in A8.b 1665 sq in

A9. For a building with an attached garage, provide:

- a) Square footage of attached garage 484 sq ft
 b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade 2
 c) Total net area of flood openings in A9.b 500 sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Key Biscayne, Village of & 120648		B2. County Name Miami-Dade		B3. State FL	
B4. Map/Panel Number 12025C & 0281	B5. Suffix J	B6. FIRM Index Date 07/17/95	B7. FIRM Panel Effective/Revised Date 03/02/94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 10.00

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.

Benchmark Utilized 0020KB Vertical Datum NGVD(1929)

Conversion/Comments E1.7.63

Check the measurement used.

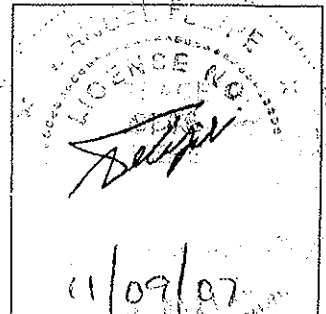
- a) Top of bottom floor (including basement, crawl space, or enclosure floor) 10.08 feet meters (Puerto Rico only)
 b) Top of the next higher floor 21.33 feet meters (Puerto Rico only)
 c) Bottom of the lowest horizontal structural member (V Zones only) N/A feet meters (Puerto Rico only)
 d) Attached garage (top of slab) 5.35 feet meters (Puerto Rico only)
 e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) 9.75 feet meters (Puerto Rico only)
 f) Lowest adjacent (finished) grade (LAG) 10.60 feet meters (Puerto Rico only)
 g) Highest adjacent (finished) grade (HAG) 10.85 feet meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name MANUEL FELIPE License Number 4146
 Title PROFESIONAL LAND SURVEYOR Company Name MANUEL FELIPE
 Address 8500 SW 8TH STREET SUITE#220 City MIAMI State FL ZIP Code 33144
 Signature [Signature] Date 11/09/07 Telephone (305) 265-8308



IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 432 Warren Lane	Policy Number
City Key Biscayne State Fl ZIP Code 33149	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C.O.R. E1. 4.26
C2 ae: Air condition unit



Signature

Date 11/09/07

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

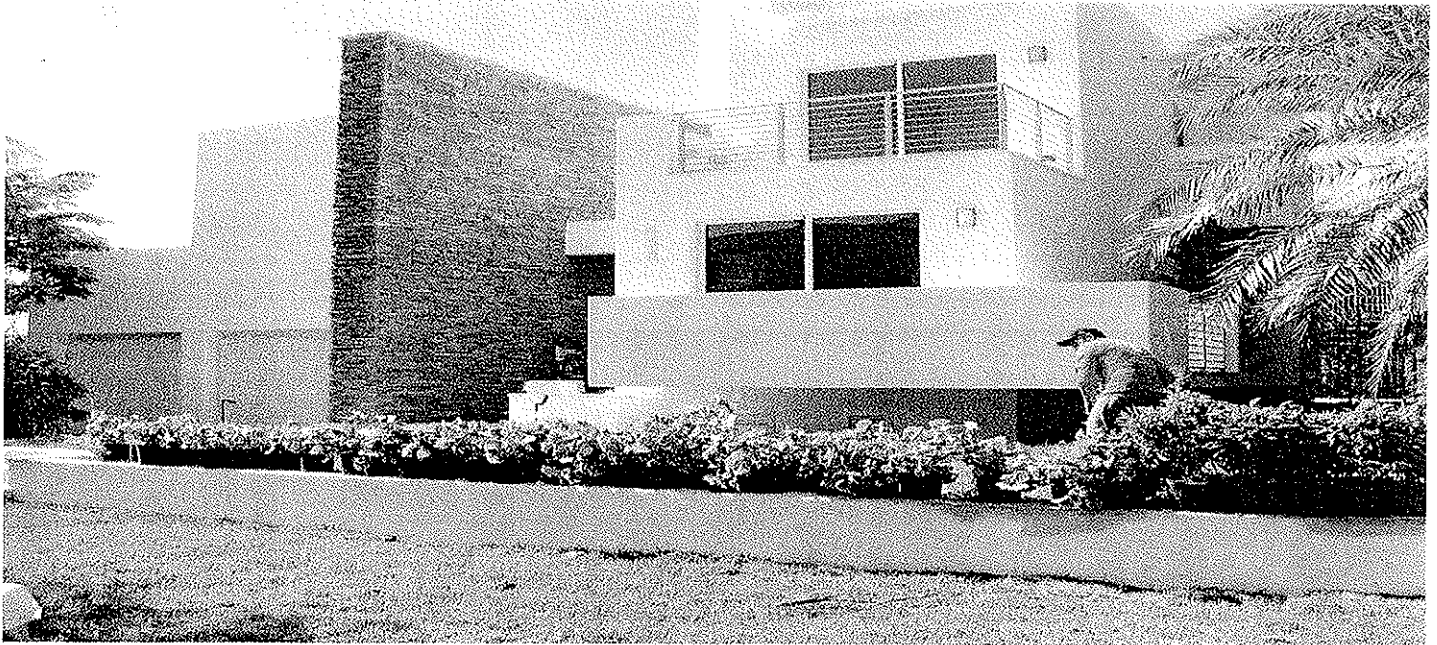
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Building Photographs

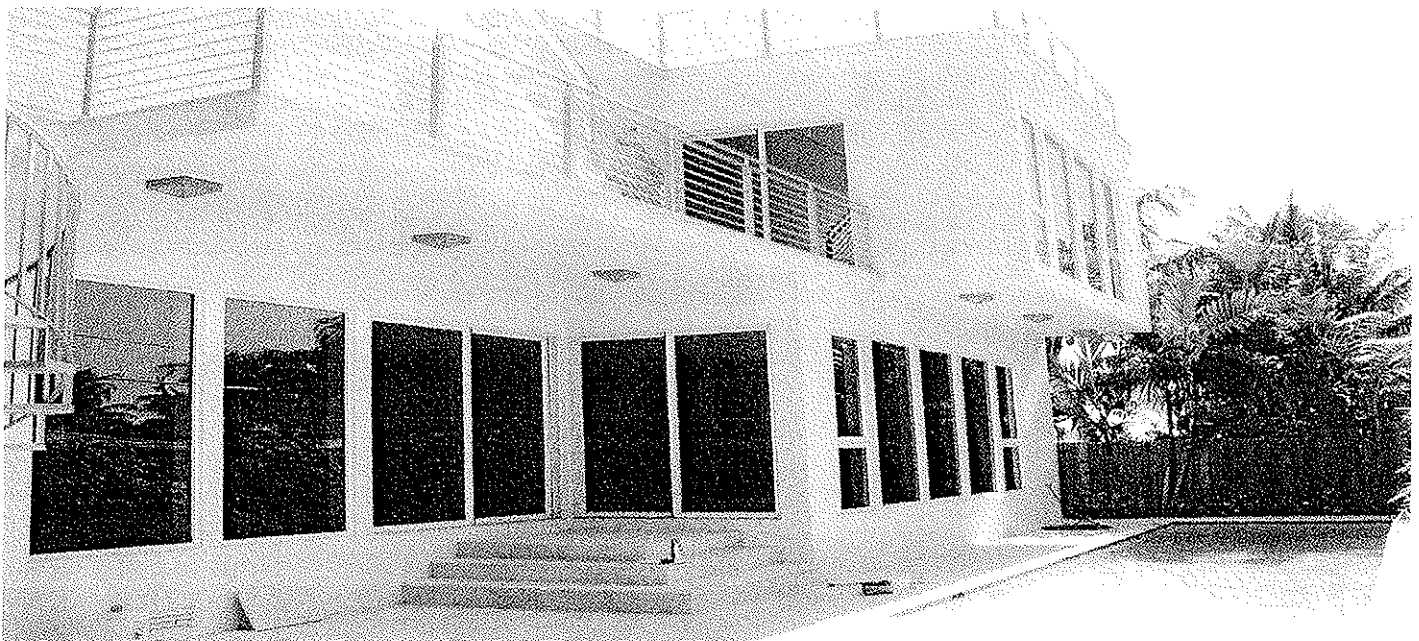
See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 432 Warren Lane	For Insurance Company Use: Policy Number
City Key Biscayne State FL ZIP Code 33149	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.



DATE: 11/09/07 FACING FRONT



DATE: 11/09/07 FACING REAR

INDEX OF DRAWINGS

- ARCHITECTURAL**
- A-1 SITE PLAN, GENERAL NOTES AND ZONING INFORMATION
 - A-2 FIRST FLOOR PLAN AND DETAILS
 - A-3 MAID'S ROOM FLOOR PLAN AND DETAILS
 - A-4 SECOND FLOOR PLAN, WINDOW AND DOOR SCHEDULE
 - A-5 ROOF/TERRACE PLAN
 - A-6 ELEVATIONS
 - A-7 ELEVATIONS
 - A-8 SECTIONS
 - A-9 SECTIONS
 - A-10 SECTIONS AND DETAILS
 - A-11 SECTIONS AND DETAILS
 - A-12 STAIR PLANS AND SECTIONS
 - A-13 FIRST FLOOR AND MAID'S ROOM REFLECTED CEILING PLAN
 - A-14 SECOND FLOOR AND ROOF TERRACE REFLECTED CEILING PLAN

- LANDSCAPE**
- L-1 LANDSCAPE PLAN

- STRUCTURAL**
- S-1 GROUND FLOOR FRAMING PLAN
 - S-2 SECOND FLOOR FRAMING PLAN
 - S-3 ROOF FRAMING PLAN
 - S-4 SECTIONS
 - S-5 SECTIONS
 - S-6 WIND PRESSURES
 - S-7 WIND PRESSURES
 - S-8 GENERAL NOTES & DETAILS

- MECHANICAL**
- M-10 FIRST AND SECOND FLOOR HVAC PLANS
 - M-11 THIRD AND FOURTH FLOOR HVAC PLANS
 - M-20 GENERAL NOTES, EQUIPMENT SCHEDULE AND TYP. DETAILS

- ELECTRICAL**
- E-10 FIRST AND SECOND FLOOR LIGHTING PLANS
 - E-11 THIRD AND FOURTH FLOOR LIGHTING PLANS
 - E-20 FIRST AND SECOND FLOOR POWER DISTRIBUTION PLANS
 - E-21 THIRD AND FOURTH FLOOR POWER DISTRIBUTION PLANS
 - E-30 ELECTRICAL PANEL SCHEDULES, LOAD CALCULATIONS AND GENERAL NOTES

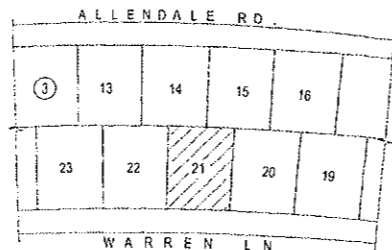
- PLUMBING**
- P-10 PLUMBING SITE PLAN AND GENERAL NOTES
 - P-20 FIRST AND SECOND FLOOR SANITARY PLANS
 - P-21 THIRD AND FOURTH FLOOR SANITARY PLANS
 - P-30 FIRST AND SECOND FLOOR WATER DISTRIBUTION PLANS
 - P-31 THIRD AND FOURTH FLOOR WATER DISTRIBUTION PLANS

GENERAL NOTES

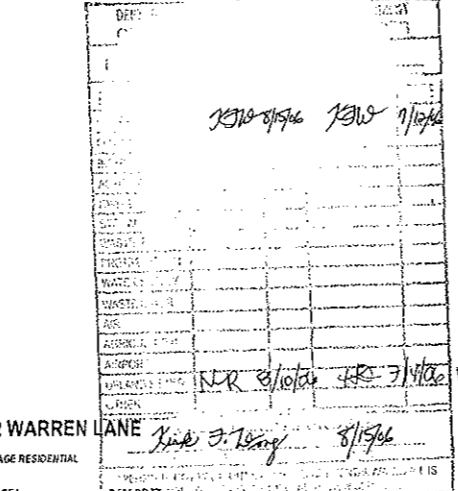
1. THE ARCHITECTS/ENGINEERS PLANS COMPLY, TO THE BEST OF OUR KNOWLEDGE, WITH THE FLORIDA BUILDING CODE 2001 EDITION.
2. CONTRACTORS WORK MUST ALSO COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE 2001 EDITION, AND ALL OTHER APPLICABLE STATE AND LOCAL BUILDING CODES AND ORDINANCES, REGARDLESS IF SHOWN OR NOT SHOWN ON THE PLANS. ANY CODE DISCREPANCIES OBSERVED BY THE CONTRACTOR MUST IMMEDIATELY BE POINTED OUT TO THE ARCHITECT/ENGINEER FOR CORRECTION.
3. THE PLANS AND SPECIFICATIONS HEREIN ARE INSTRUMENTS OF THE ARCHITECT/ENGINEER SERVICES AND WERE PREPARED FOR THE PURPOSE OF DESCRIBING THE WORK TO BE EXECUTED BY THE CONTRACTORS. THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT/ENGINEER AND ARE TO BE USED ONLY FOR THE EXECUTION OF THE PARTICULAR PROJECT FOR WHICH THEY WERE INTENDED (UNLESS SPECIFICALLY APPROVED IN WRITING BY THE ARCHITECT FOR ANOTHER USE).
4. CONTRACTOR MUST CAREFULLY STUDY ALL PLANS AND SPECIFICATIONS PRIOR TO EXECUTION OF ANY WORK AND IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES AND/OR CONFLICTS THAT MAY JEOPARDIZE COMPLETION OF THE WORK AS SPECIFICALLY SHOWN ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS. THE ARCHITECT/ENGINEER, IN SUCH EVENT, WILL EXPEDITE CORRECTIONS OR CLARIFICATIONS AS APPROPRIATE.
5. CONTRACTOR, PRIOR TO EXECUTION OF THE WORK, MUST FIELD MEASURE ALL EXISTING FIELD CONDITIONS THAT REQUIRE CRITICAL DIMENSIONING IN COMPLETION OF THE WORK. IN COMPARING THE MEASURED FIELD DIMENSIONS WITH THE PLANS THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES AND/OR CONFLICTS WHICH MAY PREVENT COMPLETION OF SAID WORK ACCORDING TO THE CONTRACT DOCUMENTS. UPON RECEIPT OF SUCH NOTIFICATION THE ARCHITECT/ENGINEER WILL EXPEDITE CLARIFICATION OF THE DISCREPANCIES TO ALLOW THE WORK TO BE COMPLETED AS PLANNED. THE FOREGOING DOES NOT VOID IN ANY WAY THE CONTRACTOR'S OVERALL RESPONSIBILITY TO COMPLETE THE WORK ACCORDING TO THE INTENDED SCOPE OF THE CONTRACT DOCUMENTS.
6. CONTRACTOR MUST NOT EXECUTE ANY WORK REQUIRING SHOP DRAWING OR DATA SUBMITTALS PRIOR TO APPROVAL OF SAME BY THE ARCHITECT/ENGINEER. ALL SUCH WORK MUST BE DONE IN ACCORDANCE WITH APPROVED SUBMITTALS. APPROVAL OF THE SUBMITTALS BY THE ARCHITECT/ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF HIS/HER OVERALL RESPONSIBILITY TO EXECUTE THE WORK IN A "FIRST CLASS" MANNER AND IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE ARCHITECT/ENGINEER APPROVALS ARE TYPICALLY FOR DESIGN INTENT ONLY.
7. CONTRACTOR(S) RESPONSIBLE FOR ALL BUILDING PERMITS AND ASSOCIATED FEES.
8. IMPACT FEES, IF ANY, ARE THE RESPONSIBILITY OF THE OWNER.

ZONING INFORMATION		
PROPERTY ADDRESS:	432 WARREN LN.	LEGAL DESCRIPTION: LOT 21 B. LOCK 3 FIRST ADDITION TO TROPICAL ISLE HOMES SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 04 PAGE 72 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
ZONING:	VILLAGE RESIDENTIAL	
LOT AREA:	7,628 SQ. FT.	
B.F.E.:	+12'-0" N.G.V.D.	

ZONING REQUIREMENTS		
	ALLOWED / REQUIRED	PROVIDED
MAX. LOT COVERAGE:	7,628 SQ. FT.	2,414.6 SQ. FT.
F.A.R.:	2.2878 SQ. FT. (BASE)	3,384.7 SQ. FT. (W/ BONUS POINTS)
PERVIOUS AREA:	2,287 SQ. FT.	3,161.9 SQ. FT.
FRONT SETBACK:	20'-0"	20'-0" (GARAGE) 18'-0" (BEDROOM)
REAR SETBACK:	15'-0"	25'-0" (LIVING ROOM) 5'-0" (MASTER BEDROOM)
SIDE SETBACK:	25% OF LOT WIDTH FROM FRONT SETBACK (25% OF 15'-0" = 3'-7 1/2")	7'-6" LEFT SIDE 19'-3" 7'-6" 11" RIGHT SIDE
DRIVEWAY:	32% OF PROPERTY FRONTAGE OR MAX 0'-0" TO 3'-0", WHICHEVER IS LESS (32% OF 15'-0" = 4'-8")	19'-4"



SITE LOCATION MAP
SCALE: 1" = 100'-0"

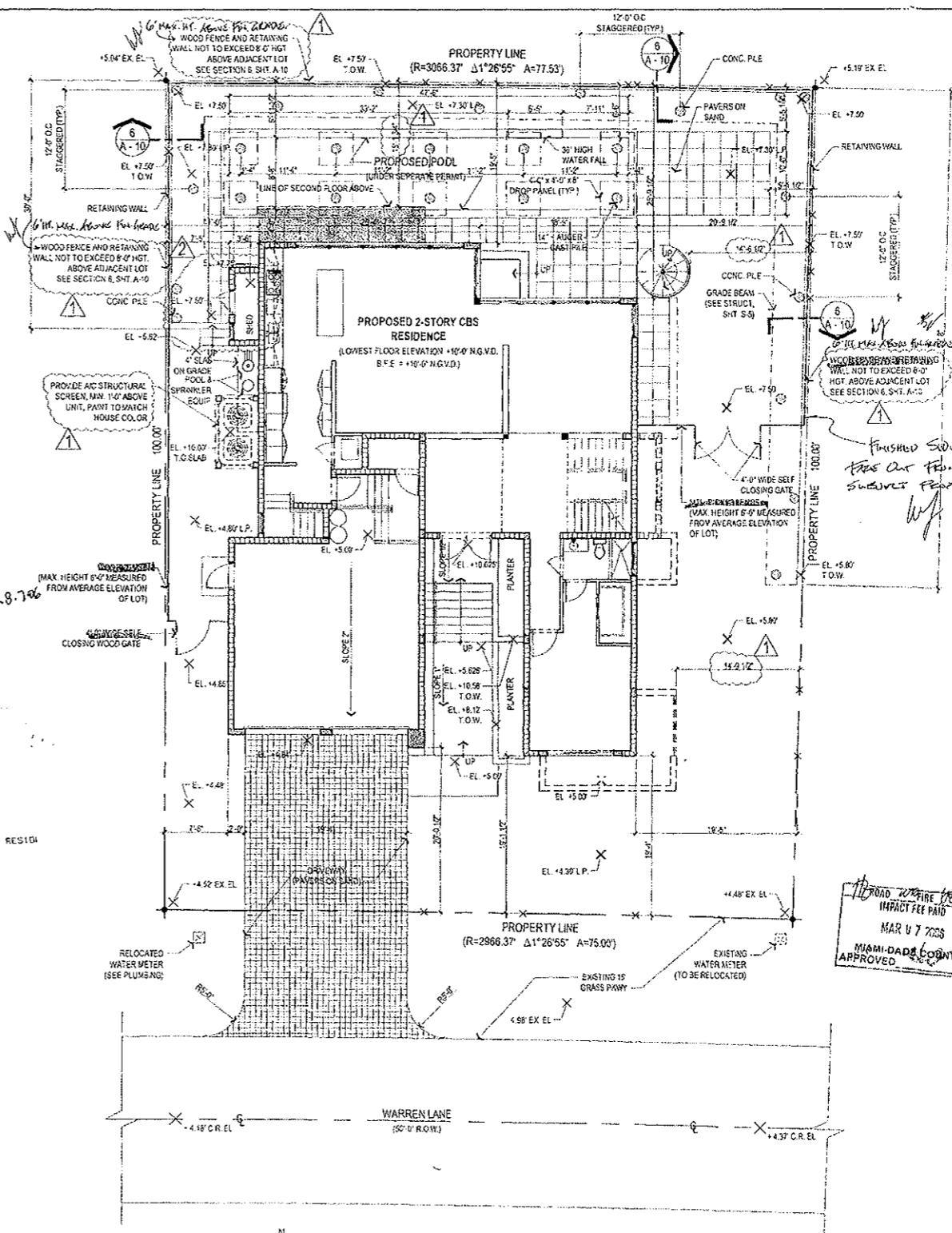


432 WARREN LANE
VILLAGE RESIDENTIAL
LOT AREA: 7,628 SQ. FT.
MINIMUM PERVIOUS AREA: 30%
7,628 x 0.33 = 2,527 SQ. FT.
ACTUAL: 3,161.9 SQ. FT.
MAXIMUM LOT COVERAGE: 35%
7,628 x 0.35 = 2,669 SQ. FT.
ACTUAL: 2,414.6 SQ. FT.
FLOOR AREA:
BASE F.A.R. (50) = 2,287.8 SQ. FT.
BONUS POINTS = 0.55 x 0.4588 = 0.2523
MAX BONUS POINTS ALLOWED = 41
MAX W/ BONUS POINTS (47) = 3,384.72 SQ. FT.
TOTAL FLOOR AREA = 2,577.35 SQ. FT.

F.A.R. BONUSES

202CS x 1	138.8 SQ. FT. + 0.00933	
2	374.6 SQ. FT. + 0.01674	
3	262.8 SQ. FT. + 0.01564	
4	1212.9 SQ. FT. + 0.00894	
	ACTUAL = 0.02935	

1. OPEN AND NON-ENCLOSED BALCONIES ABOVE FIRST FLOOR: 0.0135
 2. BUILDING LOCATED 15'-20' FROM FRONT PROPERTY LINE: 0.0135
 3. LOT 15'-6" x 10'-6" = 0.0135
 4. GARAGE OR CARPORT CONTAINING TWO OR MORE VEHICLES PARKED PARALLEL WITH AN EXTERIOR COLUMN SEPARATING EACH OF THE SPACES: 0.03
 5. SIDE YARD SETBACK WHICH: 0.05
 6. AS A MINIMUM 15 FT. SIDE YARD SETBACK. ACTUAL: 19'-6"
 7. BUILDING LOCATED WITHIN 15'-20% OF THE REAR LOT LINE: 0.0263
 8. 34% OF 77.53' = 26'-4" 201 x 26'-4" = 0.0263
 9. STRUCTURES THAT PROVIDE A FRONT SETBACK OF LESS THAN 25' WHICH HAVE A ROOF AT LEAST 1' LOWER THAN THE ROOF OF THE MAIN STRUCTURE: 0.03
 10. REDUCTION IN BUILDING HEIGHT: 0.03
 11. 0.006 x 5'-0" = 0.03
- TOTAL BONUSES: 0.1819



SITE PLAN
SCALE 1/8" = 1' - 0"

NOTE:

SITE INFORMATION OBTAINED FROM SURVEY PREPARED BY:

THOMAS J. KELLY, INC. P.E. & M.
8105 SW 130 STREET
PINECREST, FLORIDA 33156

SURVEY NO. 05-1421
DATED: 03/18/05

FINISH GRADING NOTES:

ALL SPOT ELEVATIONS SHOWN ARE "N.G.V.D." AND ARE NEAR FINISHED GRADE.

CONTRACTOR TO FINISH GRADE SITE PROVIDING POSITIVE DRAINAGE AWAY FROM ALL BUILDING PERIMETER WALLS AND SHOWN ORSITE FROM ALL PROPERTY LINES TO SWALE AREAS BETWEEN BUILDINGS AND PROPERTY LINES.

STORM WATER SHED SHALL BE 100% ASSORBED ON SITE.

OFFSITE SWALE AREAS SHALL REMAIN AS GRADED TO THE GROUND PRACTICAL THAT IS, EXCEPT FOR DRIVEWAY EGRESS PAVING THAT IS TO BE SLOPED TO PROVIDE POSITIVE DRAINAGE TO OFFSITE SWALES AT EACH SIDE OF DRIVEWAY.

TERMITE PROTECTION:

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED AFTER SOIL COMPACTION IS COMPLETED. TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

TRP ARCHITECTURE
THE ARCHITECT PARTNERSHIP INC.
2250 SW 17th AVE. MIAMI, FL 33145
305.857.0530

REGISTERED & COMMERCIAL DESIGN

2250 SW 17th AVE. MIAMI, FL 33145
305.857.0530

NEW RESIDENCE
FOR
MS. DE LA FUENTE
432 WARREN LN.
KEY BISCAYNE, FL 33149

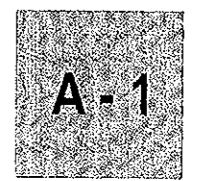
NO.	DATE	NOTE
1	10-10-05	IS D.C.
2	11-03-05	TOWNER REQUESTED CHANGE

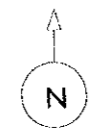
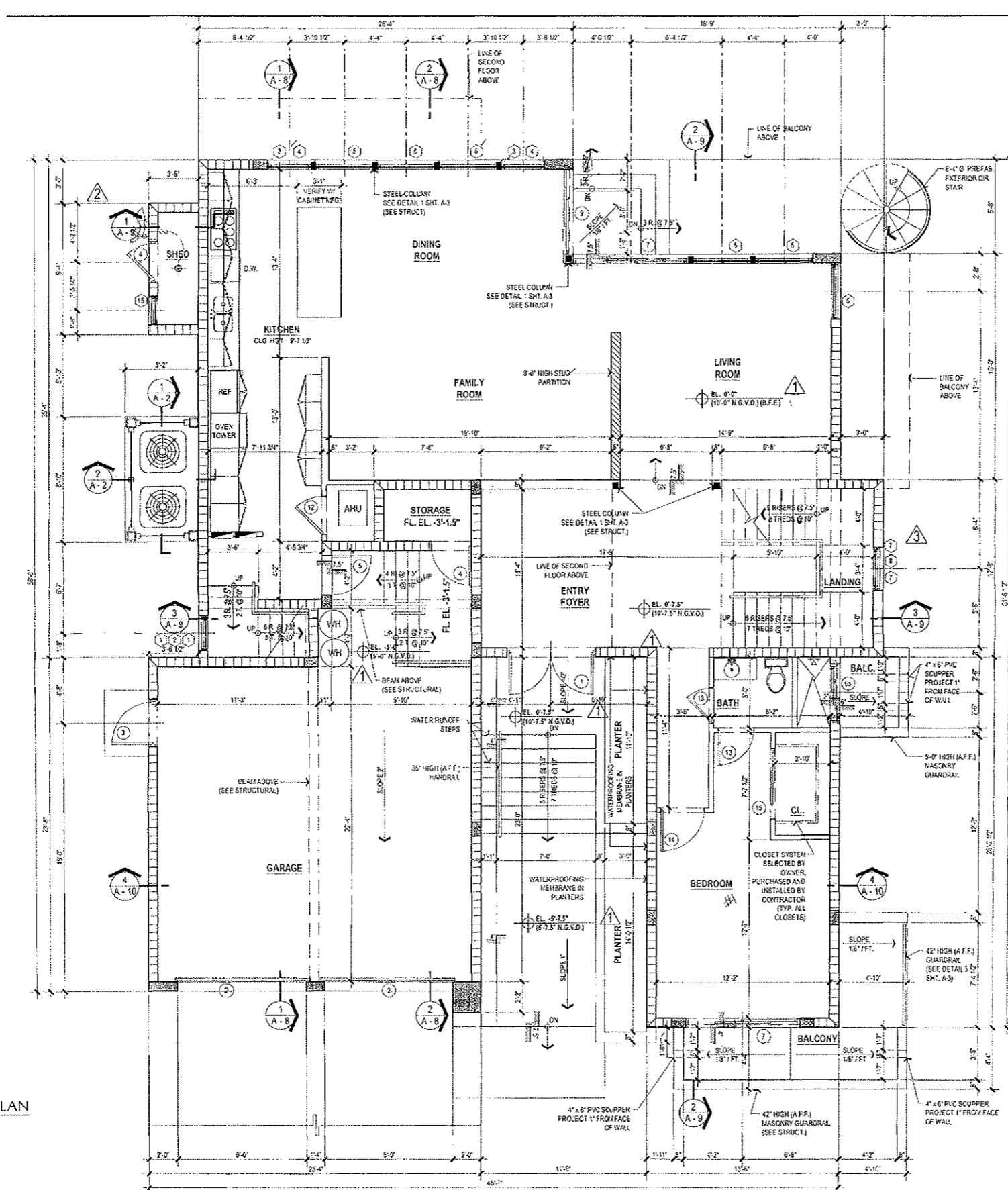
ROAD TO FIRE DEPARTMENT
IMPACT FEE PAID
MAR 07 2005
MIAMI-DADE COUNTY
APPROVED



DATE: 08.22.05
SCALE: AS NOTED
DRAWN BY: TRP
PROJECT NO.: W012005

SITE PLAN, GENERAL NOTES, ZONING INFORMATION





FIRST FLOOR PLAN

ClearChoice
 Windows & Doors
 12501 SW 134th Court
 Miami, Florida 33186
 Tel: (786) 293-7676
 Fax: (786) 293-7674
 roy@clearchoice.com

De La Fuente Residence
 432 Warren Lane
 Key Biscayne, Florida 33149

DATE: 11/16/16
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CSN
 REVISED BY: RS

SHEET NO.

3

3 OF 3

DOUGLAS B. TIMMONS
 FL P.E. # 39259
 NOV 9 2016

