

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-8.

<u>1304-08809</u>	SECTION A - PROPERTY INFORMATION	For Insurance Company Use:
A1. Building Owner's Name <u>HUGO PERERA</u> <u>05-8505</u>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>570 HAMPTON LANE</u>		Company NAIC Number
City <u>KEY BISCAIYNE</u> State <u>FL</u> ZIP Code <u>33149</u>		

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
LOT 3 BLOCK 4 PB 50 PG. 64

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL

A5. Latitude/Longitude: Lat. 25D41'27.54"N Long. 80D10'06.69"W Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 6

A8. For a building with a crawl space or enclosure(s), provide:
a) Square footage of crawl space or enclosure(s) N/A sq ft
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade N/A
c) Total net area of flood openings in A8.b N/A sq in

A9. For a building with an attached garage, provide:
a) Square footage of attached garage 800 sq ft
b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade 14
c) Total net area of flood openings in A9.b 2016 sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>KEY BISCAIYNE 120648</u>		B2. County Name <u>MIAMI-DADE</u>		B3. State <u>FL</u>	
B4. Map/Panel Number <u>12025C 0281</u>	B5. Suffix <u>J</u>	B6. FIRM Index Date <u>17</u> <u>07/1995</u>	B7. FIRM Panel Effective/Revised Date <u>03/02/94</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) + 10.00 N.G.V.D.

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
Benchmark Utilized # KB-53 (MIAMI-DADE) Vertical Datum N.G.V.D.
Conversion/Comments N/A

Check the measurement used.

a) Top of bottom floor (including basement, crawl space, or enclosure floor) 5.58 feet meters (Puerto Rico only)

b) Top of the next higher floor 14.25 feet meters (Puerto Rico only)

c) Bottom of the lowest horizontal structural member (V Zones only) N/A feet meters (Puerto Rico only)

d) Attached garage (top of slab) 5.58 feet meters (Puerto Rico only)

e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) 13.40 feet meters (Puerto Rico only)

f) Lowest adjacent (finished) grade (LAG) 4.2 feet meters (Puerto Rico only)

g) Highest adjacent (finished) grade (HAG) 4.4 feet meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

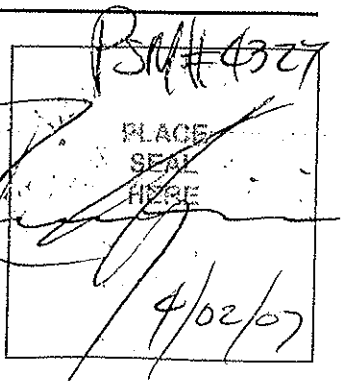
Certifier's Name RENE AIGUESVIVES License Number 4327

Title PROFESSIONAL LAND SURVEYOR AND MAPPER AND ASSOCIATES, INC. Company Name ALVAREZ AIGUESVIVES

Address 8230 CORAL WAY SUITE B City MIAMI State FL ZIP Code 33155

Signature _____ Date 04/02/07 Telephone 305-220-2424

PLACE SEAL HERE



4/02/07

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
570 HAMPTON LANE 05-8505

City KEY BISCAYNE State FL ZIP Code 33149

For Insurance Company Use

Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments IF APPLICABLE, CRAWL SPACE AND GARAGE AREAS ARE OF APPROXIMATE NATURE.
CROWN OF ROAD ELEVATION = 3.29 FT. (N.G.V.D.)

Signature

Date 04/02/07

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8, and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name **RODOLFO M. SANTIAGO** Title **CHIEF BUILDING OFFICIAL**

Community Name **VILLAGES OF KEY BISCAYNE** Telephone **305-365-8902**

Signature *[Signature]* Date **4/27/07**

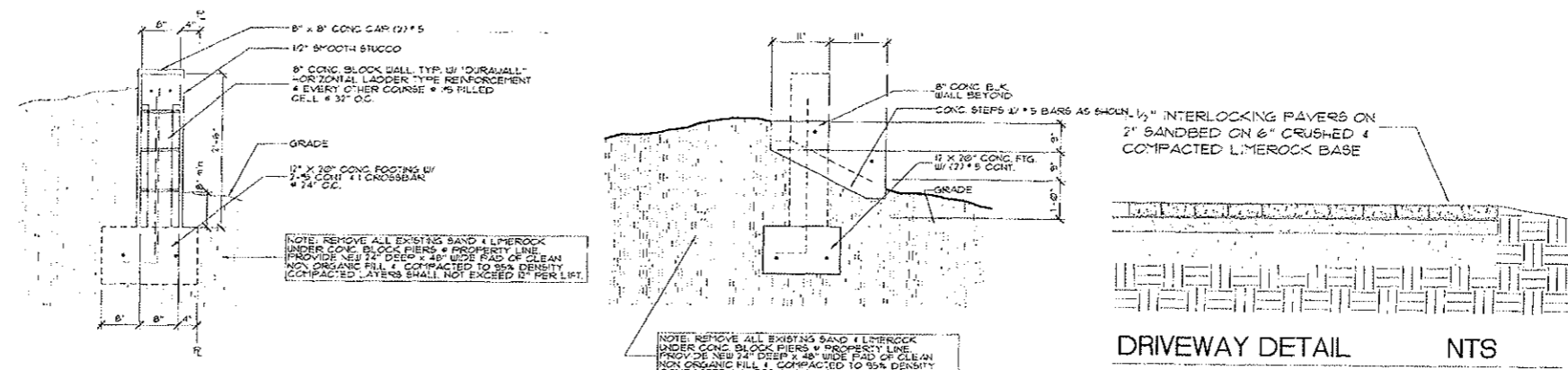
Comments **CHANGE BG TO 7/17/1995**

Check here if attachments

Proposed Residence for:
P. G. & Associates
570 Hampton Lane, Key Biscayne, Florida.

INDEX OF DRAWINGS

A-1 COVER / SITE PLAN / INFORMATION	1/8"
LP-1 LANDSCAPE PLAN	1/8"
A-2 GROUND FLOOR PLAN	1/4"
A-3 FIRST FLOOR and SECOND FLOOR PLANS	1/4"
A-4 BUILDING ELEVATIONS	1/4"
A-5 BUILDING ELEVATIONS	1/4"
A-6 BUILDING CROSSSECTION	3/8"
A-7 BUILDING CROSSSECTION	3/8"
A-8 WALL SECTIONS	1/4"
A-9 WALL SECTIONS	1/4"
A-10 STAIR DRAWINGS	1/4"
S-1 FOUND. PLAN / GRND. FLOOR FRAMING	1/4"
S-2 FIRST FLOOR FRAMING PLAN	1/4"
S-3 LOWER ROOF FRAMING & SECOND FLOOR FRAMING	1/4"
S-4 HIGH ROOF FRAMING	1/4"
S-5 SECTION & DETAILS	3/8"
S-6 SECTION & DETAILS	3/8"
S-7 SECTION & DETAILS	3/8"
S-8 GEN. NOTES / SCHEDULE / DETAILS	1/4"
E-1 ELECTRICAL GROUND FLOOR PLAN	1/4"
E-2 ELECTRICAL FIRST and SECOND FLOOR PLANS	1/4"
M-1 MECHANICAL GROUND FLOOR PLAN	1/4"
M-2 MECHANICAL FIRST and SECOND FLOOR PLANS	1/4"
P-1 PLUMBING GROUND FLOOR PLAN	1/4"
P-2 PLUMBING FIRST and SECOND FLOOR PLANS	1/4"
N-1 GENERAL NOTES / SPECIFICATIONS	N/A



D1
A-1 RETAINING WALL DETAIL 1-1/2"

D2
A-1 STAIR DETAIL 1-1/2" AT RETAINING WALL

DRIVEWAY DETAIL NTS

AREA TO BE SERVICED BY NEW SYSTEM
A/C FLOOR AREA - 3249 SF
4 - BEDROOMS

ZONING REGULATIONS VILLAGE RESIDENTIAL

Regulation	Village Residential	Required	PROVIDED
Lot Frontage	Minimum as Platted	75 Ft.	76.18 Ft.
Lot Area	Minimum 1500 Ft. or as platted	1386 Sq. Ft.	1386 Sq. Ft. AS PLATTED
Minimum Pervious	30%	(10371386) 2216 Sq. Ft.	2216 Sq. Ft.
Maximum Lot Coverage	Multifamily Residential 35%	(13871386) 2585 Sq. Ft.	2585 Sq. Ft.
Maximum FAR	.47	(1471386) 3471 Sq. Ft.	3460 Sq. Ft.
Base FAR	.30	(13071386) 2216 Sq. Ft.	2216 Sq. Ft.

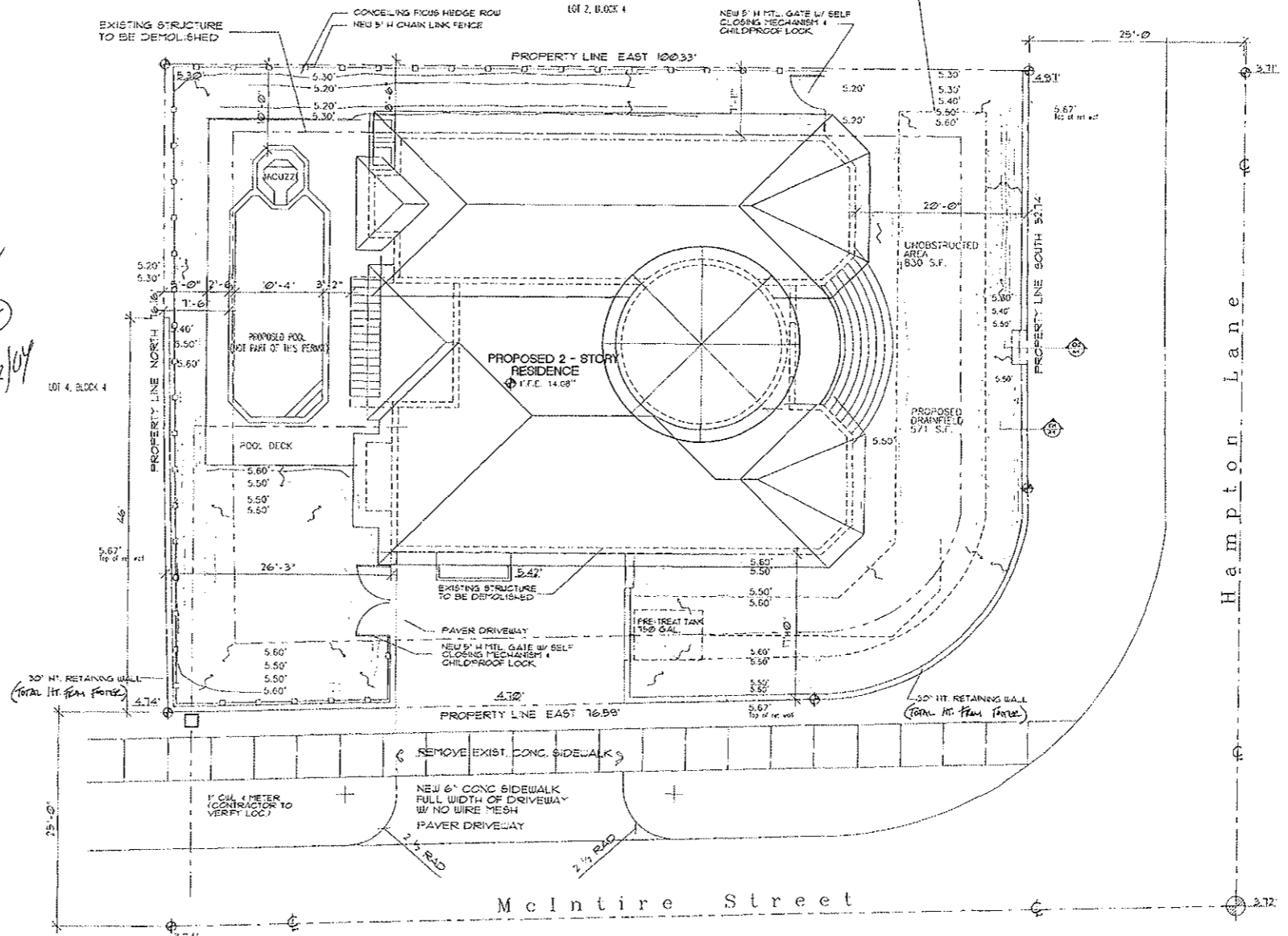
DEVELOPEMENT REGULATIONS

Criteria	FAR Increase	FAR Increase	APPLICABLE
1. Porch facing street	0.0005 per sq. ft. of Floor Area to a maximum of 0.3 FAR Increase	(1.00005) 80sf = 0.04	0.004
2. Open and unenclosed balconies located above the first finished floor	0.0005 per sq. ft. of Floor Area to a maximum of 0.3 FAR Increase	(0.0005) 189 sf = 0.03	0.003
3. Building located 15-20 ft. from front of property line	0.01 per linear foot of frontage of a lot that is located 15-20 ft. from front property line (maximum 0.3)	20' x 0.01 = 0.2	0.2
4. Garage or Carport containing two or more vehicles parked parallel with an exterior column separating each of the spaces	0.3	0.3	0.030
5. Single Story Home	0.3	N/A	N/A
6. Comb. 1 and 2 story home with the second floor occupying less than 50% of the floor area of the first floor under roof	0.1	0.1	0.10
7. Entrance to Parking Garages. Corner Lot - Entrance to side yard	0.2	0.2	0.020
8. All windows above the first floor facing an adjacent building which are 5 ft. above the finished floor Or if all building walls along the interior side of a property do not have windows	0.1 per side 0.3 per home side	N/A N/A	N/A N/A
9. Side Yard Setback Which:			
A. Exceeds the required yard	0.0005 per each sq. ft. to a maximum of 0.3	N/A	N/A
B. Has a minimum 5 ft. side yard setback	0.3	0.3	0.3
10. Building located within 15-20 ft. of the rear lot line	0.01 per linear foot of a wall located 15-20 ft. from the rear property line with a maximum of 0.3	N/A	N/A
11. VR Districts. Structures that provide a front setback of less than 15 ft. from the rear lot line; three ft. lower than the roof of the main structure	0.3	0.3	0.3
12. Reduction in Building Height	0.06 per foot or fraction thereof with a maximum of 0.3	(0.06) 133 ft. = 0.3	0.0750
Total Applicable = .251			

Accumulated FAR Credits = 3 + .251 = .551 Maximum FAR = .531(7386) = 3924 PROVIDED Far = 3249 Sq. Ft.
BASE + APPLICABLE (47) Maximum FAR Allowed = 3471

SETBACK REGULATIONS

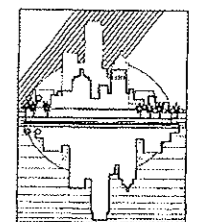
Regulation	Village Residential	20 Ft.	25 Ft.	75 Ft.
Front	20 Ft.			
Rear	25 Ft.			
Side, Interior	Two stories or more: The sum of the side yard setbacks shall not be less than 75% of the width of the lot with no side yard less than 7.5 ft.			



SITE PLAN 1/8"

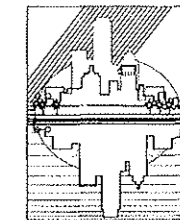
LEGAL DESCRIPTION
LOT 3 OF BLOCK 4 "TROPICAL ISLE HOMES" SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 64 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

Eusebio M. Mora
Architect Fla. No. 2 AR001737

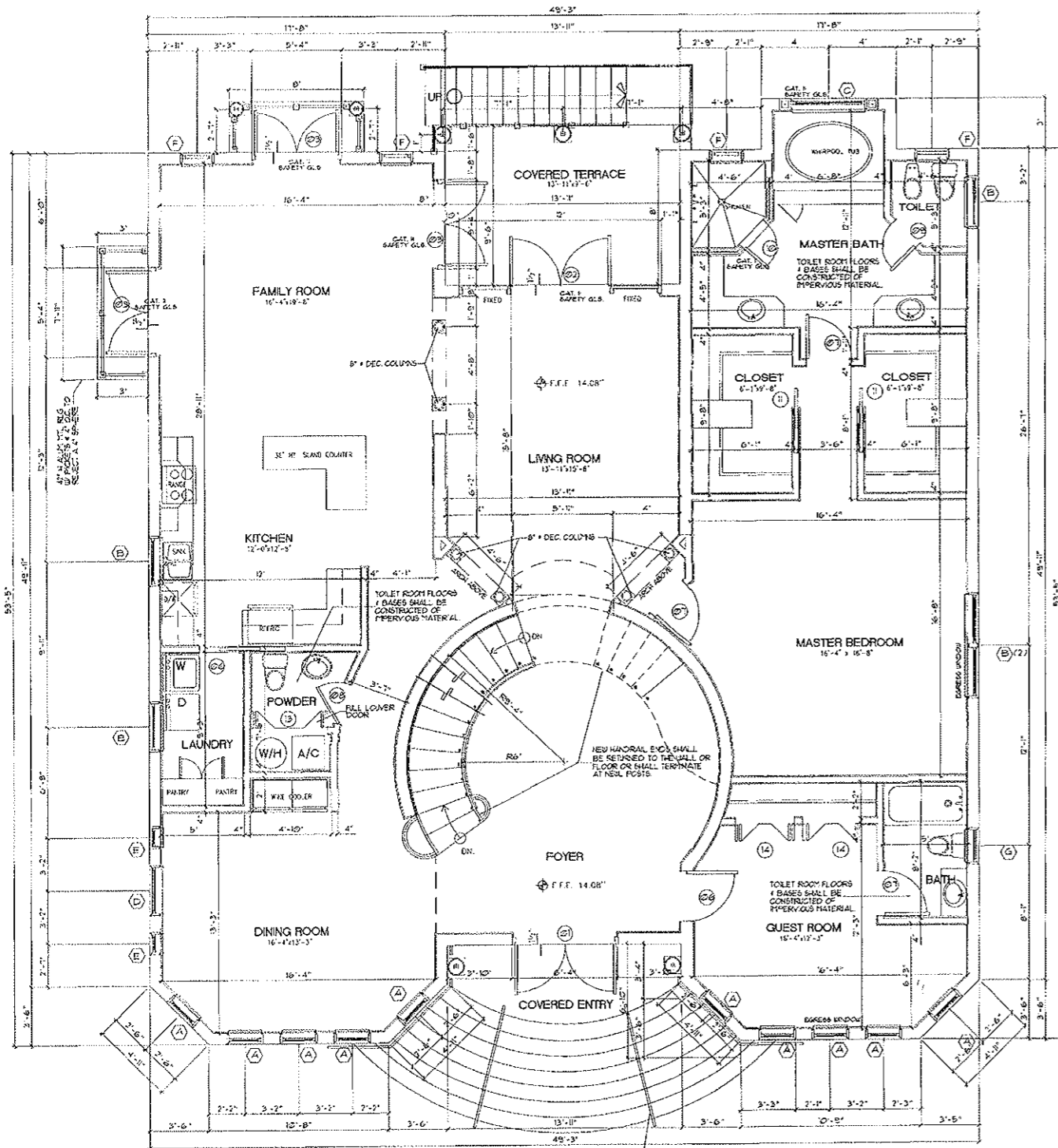


6761 Southwest 68th Terrace
South Miami, Florida 33143
(305) 744-5185

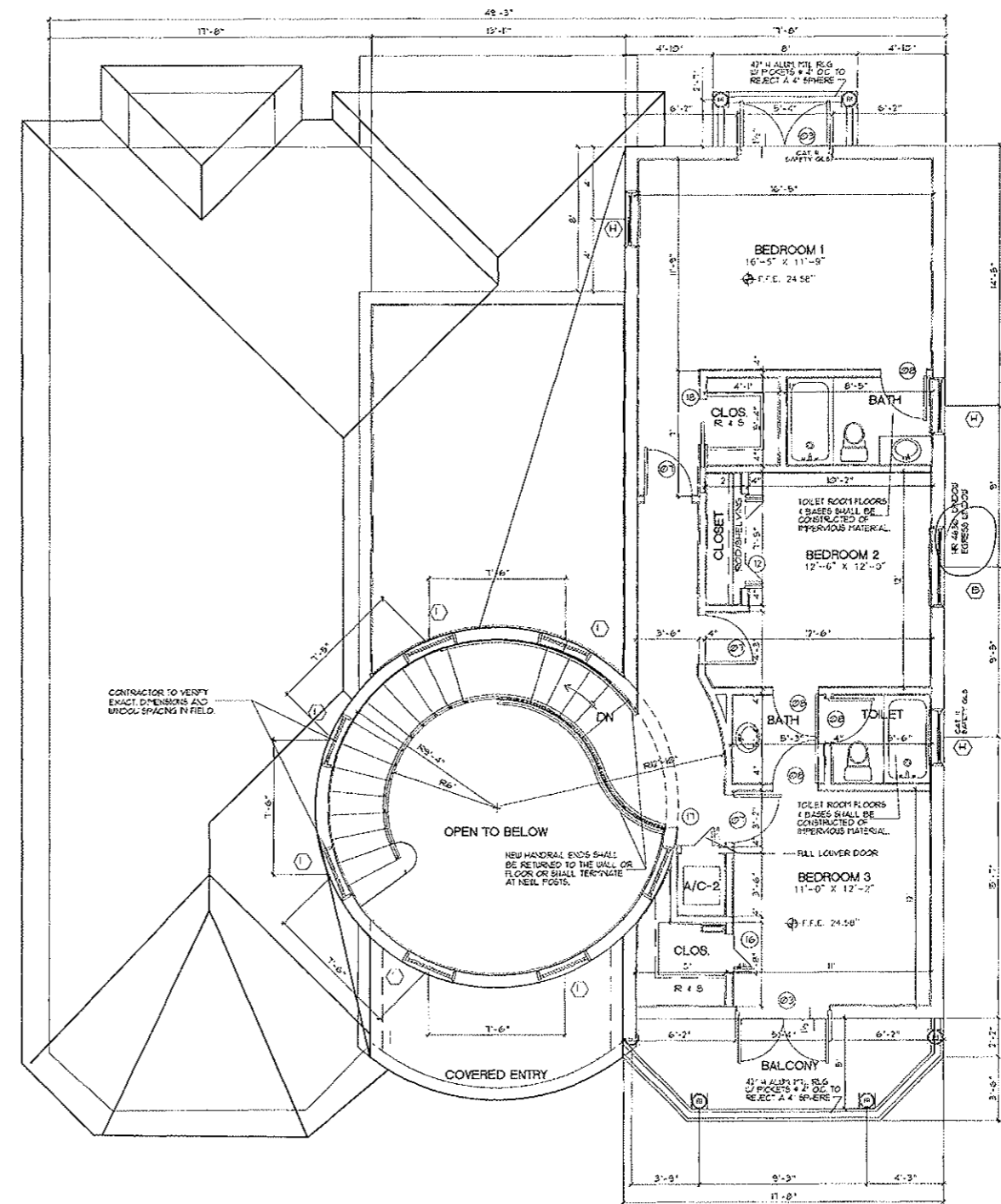
SITE PLAN / COVER SHEET	
TITLE	
REVISION BY	
DATE	
NO. REMARKS	
PROPOSED RESIDENCE FOR: P. G. and Associates PROJECT: 570 Hampton Lane, Key Biscayne, Florida.	
DRAWN BY	EMM
CHECKED BY	CMV
ATTACHMENT NO.	ATTAC-MEMIF
DRAWING FILE NO.	2000-020
DATE	02/13/2004
SCALE	NOTED
SHEET NUMBER:	A1 OF 7



6761 Southwest 88th Terrace
Miami, Florida 33143
(305) 740-5185



FIRST FLOOR PLAN 1/4"
FLOOR AREA - 2438 SF



SECOND FLOOR PLAN 1/4"
FLOOR AREA - 799 SF

TITLE		FIRST AND SECOND FLOOR PLANS	
TITLE	PROPOSED RESIDENCE FOR:	NO. REMARKS	REVISIONS BY
	P G and Associates		
	PROJECT		
	570 Hampton Lane, Key Biscayne, Florida.		
DRAWN BY:	MJA	DATE:	
CHECKED BY:	EMM	NO. REMARKS	
ATTACHMENT NO.:	ATTACHMENT#	REVISIONS BY	
DRAWING FILE NO.:	2004-026	DATE:	
DATE:	02/13/2004	SCALE:	NOTED
SHEET NUMBER	A3 OF 10		
	4		

EMM
2/20/04