

U.S. DEPARTMENT OF HOMELAND SECURITY
 Federal Emergency Management Agency
 National Flood Insurance Program

ELEVATION CERTIFICATE

OMB No. 1660-0008
 Expires February 28, 2009

Important: Read the instructions on pages 1-8.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use
B06-05821 A1. Building Owner's Name CONSTRUCTIVE CONSULTING SERVICES		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 748 GLENRIDGE ROAD		Company NAIC Number
City KEY BISCAIYNE	State FLORIDA	ZIP Code 33149
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 4, BLOCK 16, PLAT BOOK 50, PAGE 61, MIAMI-DADE COUNTY		
FOLIO No.: 24-5205-001-2610 A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL		
A5. Latitude/Longitude: Lat. N. 25.6875° Long. W. 80.1661° Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number 6		
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) 1350 sq ft	b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade 4	a) Square footage of attached garage 390 sq ft
c) Total net area of flood openings in A8.b 1152 sq in		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade 0
		c) Total net area of flood openings in A9.b 0 sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number KEY BISCAIYNE 120648		B2. County Name MIAMI-DADE	B3. State FLORIDA
B4. Map/Panel Number 12025C0281J	B5. Suffix J	B6. FIRM Index Date 07-17-1995	B7. FIRM Panel Effective/Revised Date 03-02-1994
		B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 9'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.

Benchmark Utilized **SEE BACK OF FORM** Vertical Datum **NGVD 1929**

Conversion/Comments _____

Check the measurement used.

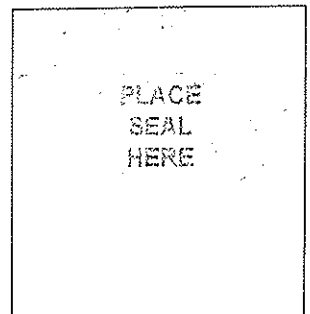
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	6.9 <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	10.1 <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	N/A <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	5.8 <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	10.0 <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	6.3 <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	7.2 <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name ANTONIO FIORE		License Number No. 5184	
Title VICE- PRESIDENT	Company Name A. FIORE AND ASSOCIATES, INC.		
Address 921 SW. 122nd AVENUE	City MIAMI	State FLORIDA	ZIP Code 33184
Signature 	Date 05-15-2007	Telephone 305-221-3040	

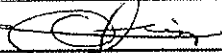


IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 748 GLENRIDGE ROAD			Policy Number
City KEY BISCAYNE	State FLORIDA	ZIP Code 33149	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments MIAMI-DADE COUNTY BENCHMARK No.MI-15-R; CROWN OF ROAD ELEV.= 4.08'
 LOCATOR No.0022 KB; ELEVATION=5.15'; MAIN FLOOR ELEV.=10.05'
 CRANDON BOULEVARD AND KNOLLWOOD DRIVE. A/C PAD ELEV.=10.01'

Signature  Date 05-15-2007 Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
 E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
 E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
 E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
 E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here: *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
 G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
 G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy issued _____
-------------------------	------------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
 G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
 G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

Check here if attachments

may be found
additional permit
Water Manager

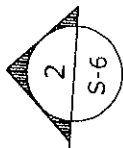
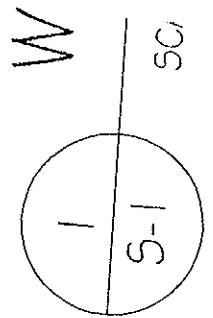
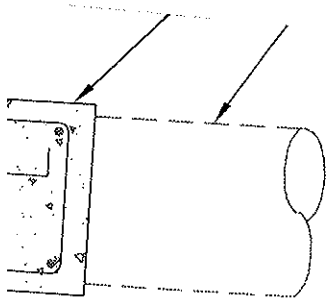
REV

NUMBER: 806-05321

FLORIDA BUILDING
EFFECTIVE

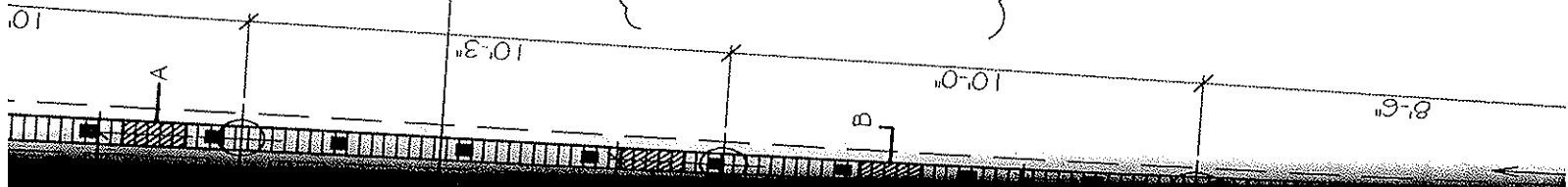
1/4 ROAD 1/4 FIRE & SCHOOL
IMPACT FEE PAID
APR 11 2006
748 6-LOWRIDGE RD
MIAMI-DADE COUNTY
APPROVED *SP*

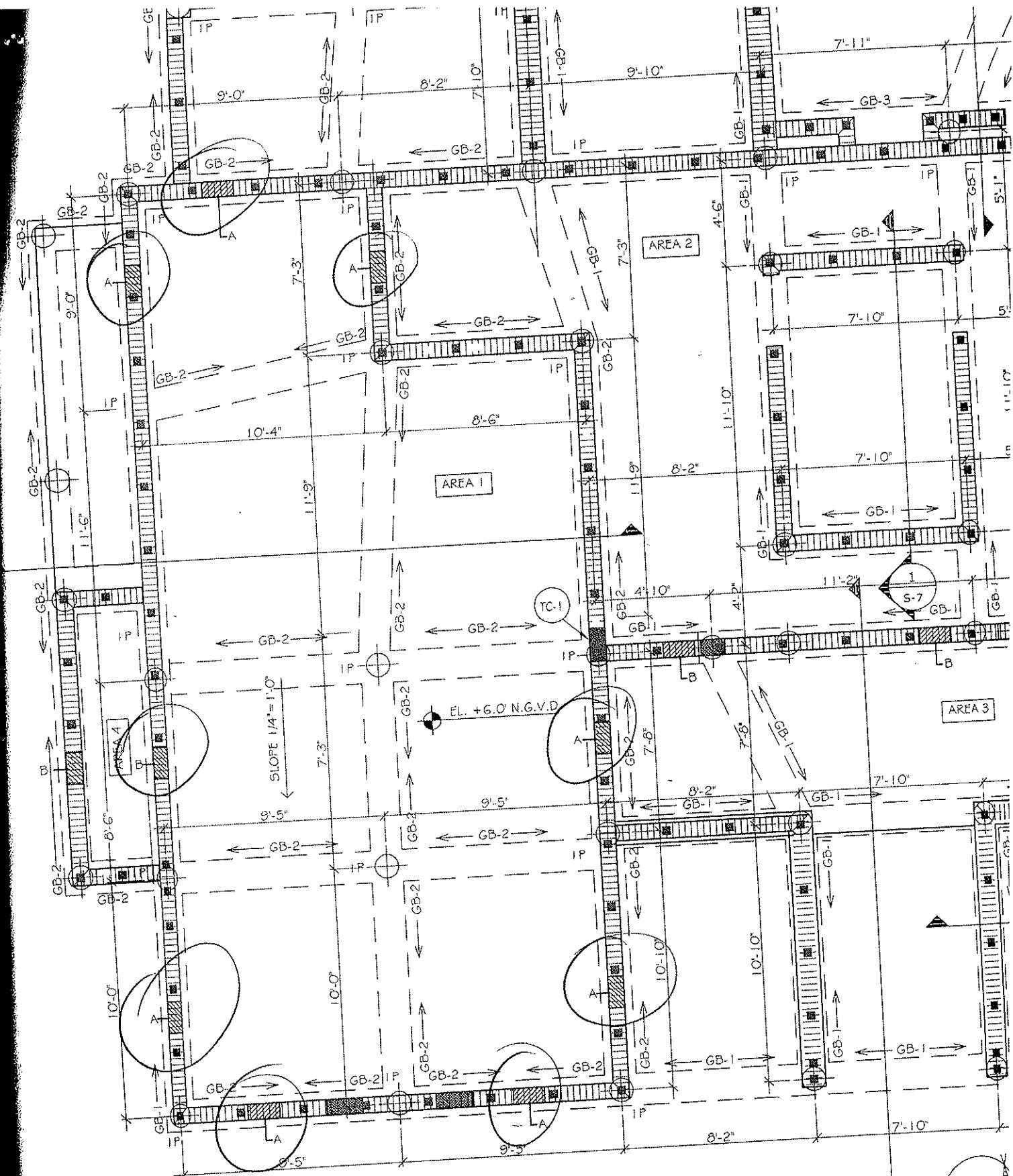
748 GLENRIDGE ROAD
806-05321



FLOW VENT
A = 16"x16"
B = 16"x10"

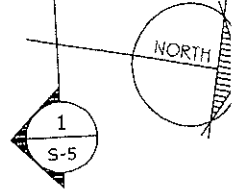
FLOW TROUGH
A1 = 635 SF. PROVIDE 2 "A" FLOW VENT.
A2 = 205 SF. PROVIDE 1 "A" FLOW VENT.
A3 = 375 SF. PROVIDE 2 "A" FLOW VENT.
A4 = 35 SF. PROVIDE 1 "B" FLOW VENT.
A5 = 580 SF. PROVIDE 2 "A" FLOW VENT.





FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

748 GLENRIDGE ROAD
 BOG-05321



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES - SEE 2004 FBC.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE A/E OF RECORDS OF ANY DISCREPANCY.
3. ALL JUNCTIONS, CONTACT WITH CONCRETE, MASONRY OR GRADE SHALL BE PRESURE TREATED WOOD (PT WOOD).
4. ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM BENDING STRESS OF 1,000 PSI.
5. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS FOR 2004 FBC AND 2004 FBC-2004 SHALL BE USED UNLESS OTHERWISE NOTED.
6. WHEN APPLICABLE, SHOP AND SETTING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR HIS APPROVAL BEFORE FABRICATION. ONE SET SHALL BE KEPT AT THE ENGINEER'S OFFICE.
7. A 1/2" NOMINAL SIZE OF HOLLOW CONCRETE BLOCK WALLS MUST COMPLY WITH THE STANDARD SPECIFICATION FOR LOAD-BEARING CONCRETE MASONRY UNITS - ASTM-C-90.
 - a. 1" x 4" 5/8" DEEP W/ 1/2" MIN. THICK 1/2" x 1/2" MIN. W/ 28 DAYS STRENGTH, MUST COMPLY WITH THE STANDARD SPECIFICATION FOR MASONRY FOR 2004 FBC AND 2004 FBC-2004.
 - b. FOR EXTERIOR AND INTERIOR WALLS, EXCEPT MORE STRENGTHENING ENGINEER NOTE - STANDARD 2 GRADE LADDER TYPE FOR WORKING MASONRY AND TRUSS TYPE FOR ALL OTHERS SHALL BE PROVIDED. STANDARD 2 GAUGE IF NOT BY INDICATED IN PLAN. IF CONFORMS TO ASTM-C-478 STANDARD SPECIFICATION FOR CAST FOR MASONRY AND ASTM-C-433 TEST GROUP SUMM AND ASTM-C-109 - STANDARD TEST METHOD FOR SAMPLING AND TESTING GROUP.
8. FOR ALL WORKS EXCEPT AS NOTED BELOW CONCRETE 3,000 PSI MINIMUM 28 DAYS STRENGTH.
 - a. 4" - 6" MIN. MAXIMUM
 - b. REINFORCED MASONRY WALLS SHALL BE 3,000 PSI MINIMUM 28 DAYS STRENGTH. SUMM. B - 10 REINFORCED AS REQUIRED FOR WALLS. ALL REINFORCEMENT SHALL CONFORM WITH THE ASTM-C-478 STANDARD SPECIFICATION FOR CAST FOR MASONRY AND ASTM-C-433 TEST GROUP SUMM AND ASTM-C-109 - STANDARD TEST METHOD FOR SAMPLING AND TESTING GROUP.

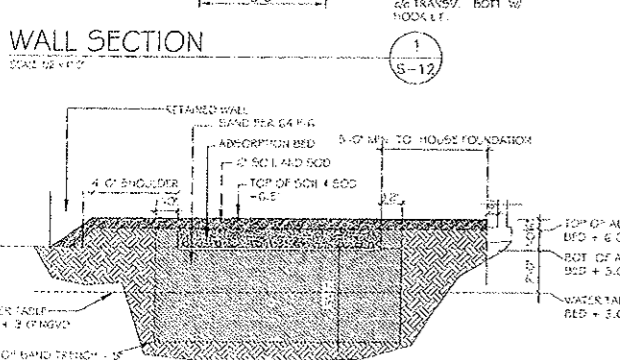
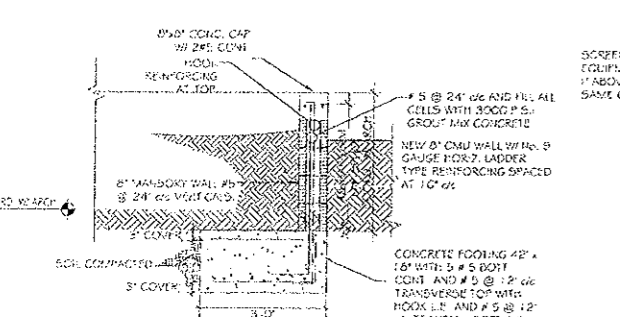
NOTICE: IN MY PROFESSIONAL JUDGMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES, SEE 2004 FBC AND THE ENGINEER OF RECORDS.

NOTE: NO OTHER UNDERGROUND UTILITIES WERE LOCATED BUT MAY BE PRESENT. SEE WITH LOCATION. CALL UTILITY LOCATION OFFICE 48 HOURS BEFORE YOU DIG. 1-800-432-4770

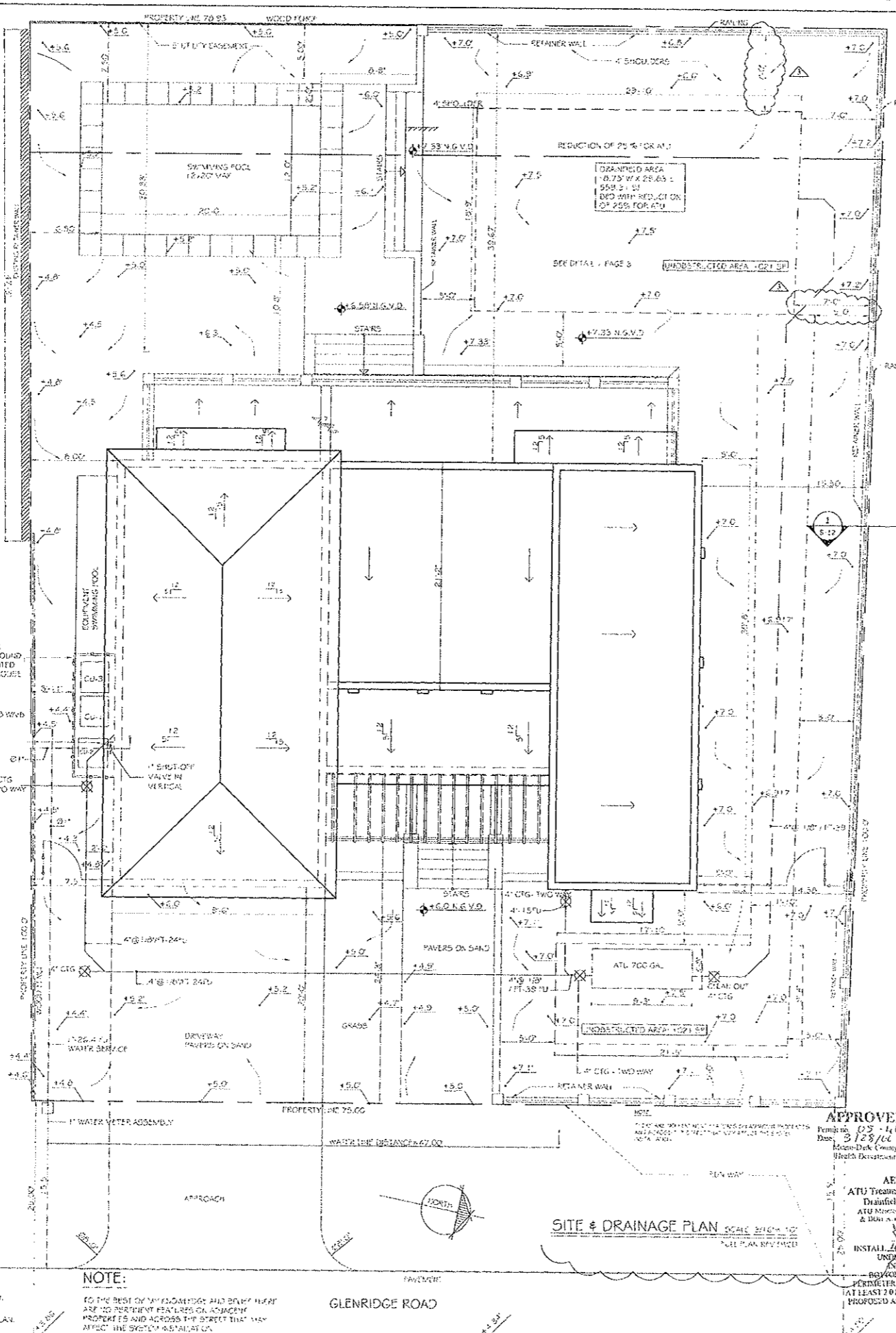
- PROBABLE IMPORTANT NOTICE:** REFER TO FBC 2004 SECTION 105.13.4.1. A STATEMENT OF INSPECTION SHALL BE REQUIRED IN CONNECTION WITH ANY CONSTRUCTION FOR WHICH THIS CODE REQUIRES ENGINEER SIGNED AND SEALED PLANS.
- 1. SPECIAL INSPECTOR FOR FRAMING, FBC 1602.1.3
 - 2. SPECIAL INSPECTOR FOR TRUSSES OVER 30 FEET LONG OR 0 FT HIGH FBC 2015.17.2.4.2
 - 3. SPECIAL INSPECTOR FOR REINFORCED MASONRY, FBC 2122.4
 - 4. SPECIAL INSPECTOR FOR STEEL CONNECTIONS, FBC 2212.8.2
 - 5. SPECIAL INSPECTOR FOR SOIL COMPACTION, FBC 1602.2.1
 - 6. SPECIAL INSPECTOR FOR PRECAST CONCRETE ATTACHMENTS PER FBC 1927.1.2
 - 7. SPECIAL INSPECTOR FOR

- NOTE: ONLY THE MARKET BONES APPLY:**
- PRODUCT CONTROL, APPROVAL AND BUILDING PERMITS NOTE:** PRODUCT CONTROL APPROVAL AND SEPARATE BUILDING PERMIT WILL BE REQUIRED AS TO CONFORM WITH THE FBC 2004 (WHEN APPLICABLE) FOR:
- WORKING
 - DOORS
 - STORM SHUTTERS
 - WOOD TRUSS
 - STEEL JOISTS
 - GLASS WALLS
 - ARCHWAYS
 - RIDGE VENTILATION
 - STORE FRONTS
 - RAILING
 - SHEDS
 - PRECAST SYSTEM
 - ROOFING
 - FENCES
 - MASSWALL
 - CURTAIN WALLS
 - DRIVEWAY APPROACH
 - ALL STRUCTURAL GLAZING
 - ANY OTHER SPECIAL ASSEMBLY
 - EXTERIOR METAL STAIRS

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES OR FEDERAL AGENCIES.



- INDEX PLAN:**
- 1. DEMONSTRATION PLAN NOTES
 - 2. SITE & DRAINAGE PLAN, GENERAL NOTES, LOCATION SKETCH
 - 3. LANDSCAPING PLAN, GENERAL NOTES
 - 4. LANDSCAPING DETAILS
 - 5. PROPOSED GROUND & GARAGE FLOOR PLAN
 - 6. PROPOSED SECOND FLOOR PLAN
 - 7. PROPOSED ROOF PLAN
 - 8. TRACT & WEST ELEVATION
 - 9. WALL ELEVATION
 - 10. WALL ELEVATION
 - 11. SECTION ELEVATIONS
 - 12. CONSTRUCTION DETAILS
 - 13. CONSTRUCTION DETAILS
 - 14. PROPOSED GROUND & GARAGE FLOOR PLAN
 - 15. PROPOSED SECOND FLOOR PLAN
 - 16. STRUCTURE DETAIL FLOOR PLAN
 - 17. STRUCTURE DETAIL FLOOR PLAN
 - 18. STRUCTURE DETAIL FLOOR PLAN
 - 19. STRUCTURE DETAIL FLOOR PLAN
 - 20. 55 - STRUCTURE WALL SECTION
 - 21. 56 - STRUCTURE WALL SECTION
 - 22. 57 - STRUCTURE STAIRS SECTION
 - 23. 58 - STRUCTURE DETAILS
 - 24. 59 - STRUCTURE LUMBER PLAN & DETAILS
 - 25. 60 - STRUCTURE SCHEDULE & DETAILS
 - 26. 61 - STRUCTURE WIND PRESSURE
 - 27. 62 - STRUCTURE RETAINING WALL
 - 28. 63 - MECHANICAL GROUND & GARAGE FLOOR PLAN
 - 29. 64 - MECHANICAL GROUND FLOOR PLAN
 - 30. 65 - MECHANICAL DETAILS
 - 31. 66 - ELECTRICAL SITE PLAN, GENERAL NOTES
 - 32. 67 - ELECTRICAL GROUND & GARAGE FLOOR PLAN
 - 33. 68. ELECTRICAL RISERS, PANELS, LOAD CALCULATION
 - 34. 69 - DOMESTIC WATER GROUND & GARAGE FLOOR PLAN
 - 35. 70 - DOMESTIC WATER SECOND FLOOR PLAN, DETAILS
 - 36. 71 - DOMESTIC WATER SECOND FLOOR PLAN, DETAILS
 - 37. 72 - DOMESTIC WATER SECOND FLOOR PLAN
 - 38. 73 - DOMESTIC WATER SECOND FLOOR PLAN
 - 39. 74 - DOMESTIC WATER SECOND FLOOR PLAN



STOP
48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA

48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA

LEGAL DESCRIPTION:
BISCAYNE COUNTY FLA
50'-6" LOT 4, 50'-6" LOT
5'-2" W 76'-50'-0" TO CG
1890S-07-12-1108 A COC
2341S-2605 ON 200S 1

FOLIO NUMBER: 24-5208-02-126-0

PROPERTY ADDRESS:
748 GLENRIDGE ROAD, KEY BISCAYNE, FLORIDA 33148

ZONING LEGEND:

- 1. ZONING DISTRICT: VR
- 2. LOT AREA: 7,697 SF
- 3. MAXIMUM LOT COVERAGE: 33%
- 4. BUILDING + TERRACE + PORCH: 2,228 SF
- 5. MAXIMUM FLOOR AREA RATIO: 30%
- 6. DISCOUNT AREA UNDER STAIR: 74 SF
- 7. TOTAL AREA UNDER AIR CONDITIONING: 3,337 SF

TOTAL FAR INCREASE:
TOTAL FAR INCREASE ADMITTED: 0.30 + 0.15 = 0.45

CRITERIA	FAR INCREASE	PROPOSED
1. TOTAL FAR INCREASE	0.45	0.45
2. MAXIMUM FLOOR AREA RATIO	30%	30%
3. BUILDING + TERRACE + PORCH	2,228 SF	2,228 SF
4. TOTAL FAR INCREASE ADMITTED	0.30 + 0.15 = 0.45	0.45

STITCHES	REQUIRED	PROVIDED
FRONT	20.0'	20.0'
SIDE (SOUTH)	7.5'	7.5'
SIDE (NORTH)	14.25'	14.25'
REAR	25.0'	25.25'

AEROBIC SEPTIC TANK

LOT SIZE = 7,697 SF = 0.176 ACRES
0.176 ACRES x 2500 GALLONS = 441 GAL
UNDESIGNED AREA = 1,021 SF
DESIGNED AREA = 589.5 SF

FOR AEROBIC SEPTIC TANK, REDUCTION 25%
DRAINAGE AREA
REQUIRED: 478.25 SF
PROPOSED: 589.5 SF
UNDESIGNED AREA
REQUIRED: 697.25 SF
PROPOSED: 102.5 SF
ALL MANUFACTURERS MUST MEET STANDARD #6

REMBERTO CONTRERAS
PROFESSIONAL CIVIL ENGINEER
STATE OF FLORIDA
LIC. # 21522
30 N.W. 87th AVE., #C-101 - MIAMI, FL
TEL. (305) 663-0543

PROPOSED

NEW RESIDENCE

748 GLENRIDGE ROAD
KEY BISCAYNE, FLORIDA 33149

OWNER:
SOUTH KEY BUILDERS, LLC

REVISIONS

REVISIONS	BY	DATE
1	SG	1/12/06
2	SG	1/21/06
3	SG	3/2/06

Scale: As shown
Drawn: SILVANA GARAY
Checked:
App'd:
Date: 09/21/05
Sheet No: 2

TERMITE PROTECTION NOTE (FBC 2004.- R-320):

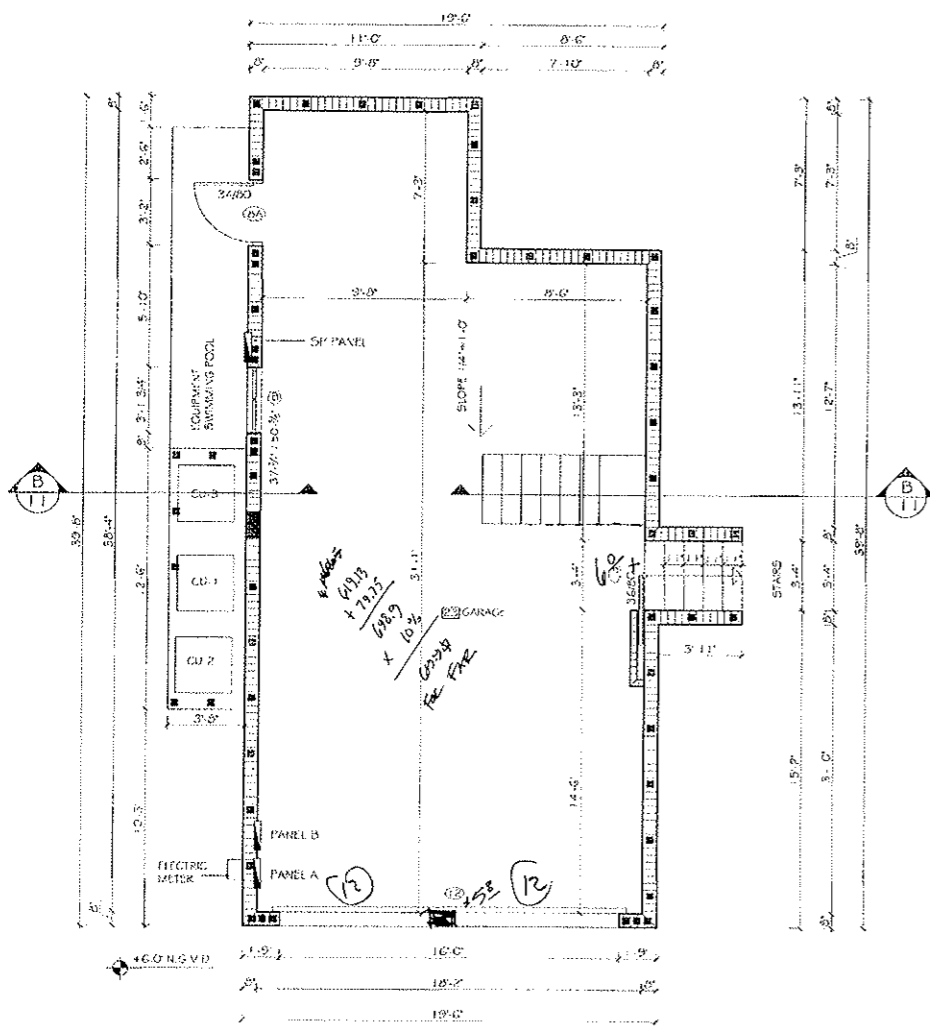
ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCT OR SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

CERTIFICATE OF PROTECTIVE TREATMENT FOR PREVENTION OF TERMITES AS PER FBC-2004-R-320 SHALL BE SUBMITTED AFTER COMPLETION IS COMPLETED.

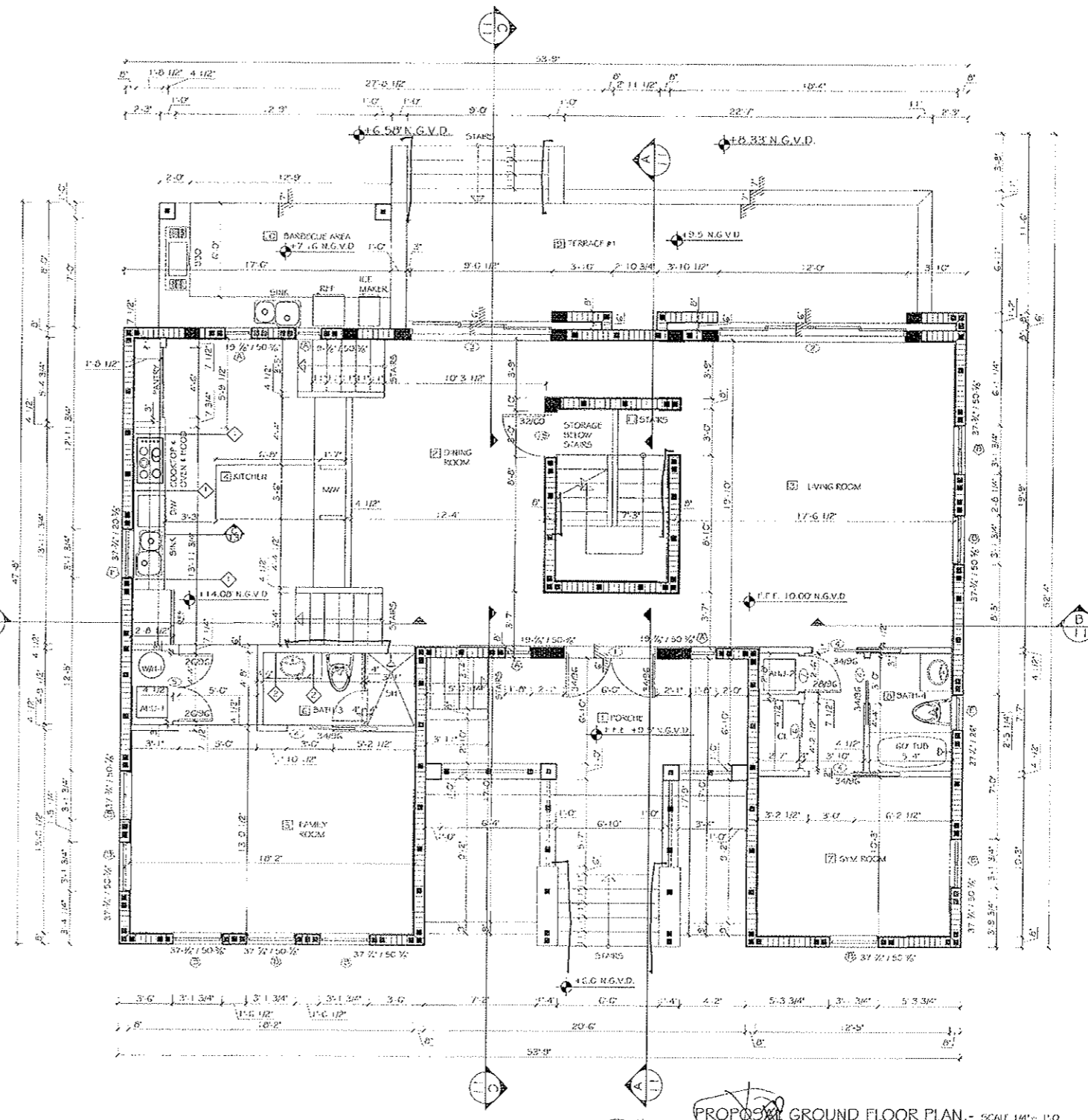
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

ROOF VENTILATION (FBC 2004.- R-806):

VENTILATION = 1:150 SF
 FLAT ROOF AREA = 280 SF / 150 SF = 6.57 SF REQUIRED,
 = 7.00 SF PROVIDED.
 ROOF A = 774 SF / 150 SF = 5.16 SF REQUIRED,
 = 59.6 SF PROVIDED.



PROPOSAL GARAGE FLOOR PLAN. - SCALE 1/4" = 1'-0"



PROPOSAL GROUND FLOOR PLAN. - SCALE 1/4" = 1'-0"

ENGINEERING CONSULTANT

REMBERTO CONTRERAS

PROFESSIONAL CIVIL ENGINEER
 STATE OF FLORIDA
 LIC. # 21522
 30 N.W. 87TH AVE. #C-101 - MIAMI, FL
 TEL. (305) 663-0543

PROPOSED

NEW RESIDENCE

748 GLENRIDGE ROAD
 KEY BISCAYNE, FLORIDA 33149

OWNER:

SOUTH KEY BUILDERS, LLC

SEAL: **APPROVED**
 Permit No. 05-4043-N
 Date: 9/21/05
 Miami-Dade County
 Health Department

OCT 17 2005

REVISIONS BY DATE

ALL DIMENSIONS & SIZES MUST BE VERIFIED BY THE CONTRACTOR ON THE JOB SITE AND ADJUSTMENT TO FIT ON IT

Scale: As shown
 Drawn: SILVANA GARAY
 Checked:
 Apprd:
 Date: 09/21/05

Sheet No: 5
 of 37 Sheets