

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

13 03 - 03125		SECTION A - PROPERTY INFORMATION	For Insurance Company Use:
A1. Building Owner's Name Rander Investing, Inc			Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 220 Harbor Drive			Company NAIC Number
City Key Biscayne State FL ZIP Code 33149			

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 25, Block 17 of "FOURTH ADDITION TO TROPICAL ISLE HOMES SUBDIVISION" as recorded in PB 53-39 of Miami-Dade County

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25°41'05.31"N Long. 80°09'46.08"W Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s)	<u>N/A</u> sq ft	A9. For a building with an attached garage, provide:
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade	<u>N/A</u>	a) Square footage of attached garage
c) Total net area of flood openings in A8.b	<u>N/A</u> sq in	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade
		c) Total net area of flood openings in A9.b

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Village of Key Biscayne 120648		B2. County Name Miami-Dade		B3. State FL	
B4. Map/Panel Number 12025C 0281	B5. Suffix J	B6. FIRM Index Date 07/17/95	B7. FIRM Panel Effective/Revised Date 03/02/94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 10.00'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
Benchmark Utilized No. MI-11 Vertical Datum NGVD 1929
Conversion/Comments _____

Check the measurement used.

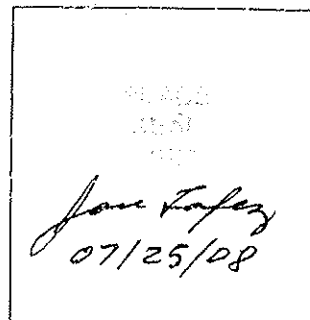
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>10.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>21.97</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>1.37</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>9.55</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.50</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>6.70</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name Jose F. Lopez		License Number 3086	
Title Professional Land Surveyor and Mapper	Company Name J.F. Lopez & Associates, Inc.		
Address 7900 NW 155 th Street, Suite # 104	City Miami Lakes	State FL	ZIP Code 33016
Signature <i>Jose Lopez</i>	Date 07/25/08	Telephone 305-828-2725	



IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
220 Harbor Drive

City Key Biscayne State FL ZIP Code 33149

For Insurance Company Use:

Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Highest crown of road elevation in front of property: 5.10'
Type of Equipment: 2 air conditioner condensing units on concrete slab at elevation 9.55' and 1 electric generator on top of concrete slab at elevation 10.15'

Jose Lopez
Signature

Date 07/25/08

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____ Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments

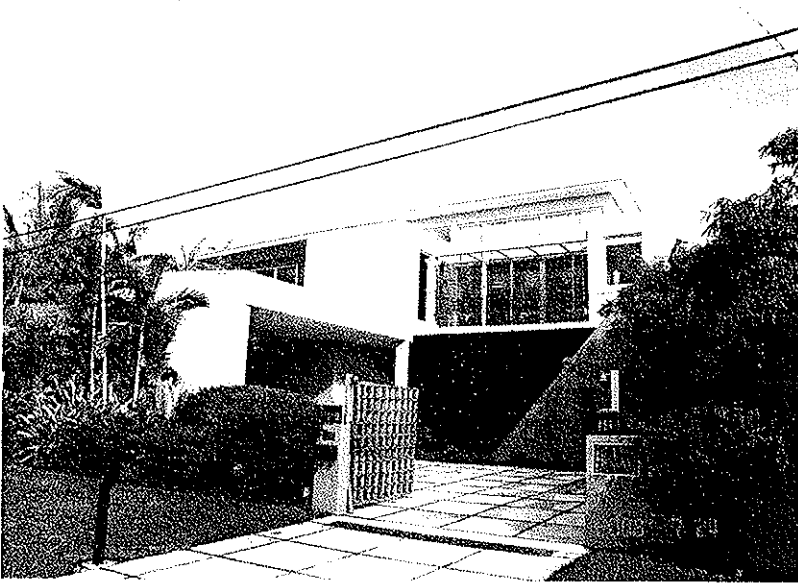
Replaces all previous editions

Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 220 Harbor Drive	For Insurance Company Use: Policy Number
City Key Biscayne State FL ZIP Code 33149	Company NAIC Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.	

FRONT VIEW



REAR VIEW



LEGAL DESCRIPTION:

LOT 15 OF BLOCK 1, TROPICAL HOMES SUBDIVISION WITH ADDITION ACCORDING TO THE PLAN THEREOF AS RECORDED IN PLAT BOOK NO. 55, AT PAGE 39 TO THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL NOTES:

- All wood in contact with masonry or concrete shall be pressure treated.
- Trade manufacturer shall submit shop drawings, or design and detail (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication.
- Trade subcontractor shall submit shop drawings, or design and detail (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication.
- All work to be in full strict accordance and compliance with all codes and agencies having jurisdiction.
- Written dimensions shall take precedence over scaled dimensions.
- Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All dimensions shall be field verified and the Architect shall be notified prior to commencing any work of any discrepancies between prepared drawings and field condition.
- All wood bearing partitions to be one hour fire rated construction.
- Contractor shall stake out in the field all underground utilities known or encountered before beginning excavation.
- Contractor shall coordinate all trades before placing concrete.
- All framing materials shall be class "C" or better grade.
- Partitions to run from floor to underside of slabs, joists or trusses and to consist of wood studs at 16" o.c. with 1/2" gypsum wallboard both sides U.O.N.
- Complete all work within 24 hours of completion of bathroom, showers, water closets and closets to be water resistant type.
- Contractor shall coordinate progress of partitions to accommodate mechanical work.
- Lumber used for studs in interior nonbearing partitions shall be of a street grade not less than 2B P.S.T nominal extreme fiber stress in bending.
- Contractor shall provide continuous caulk and sealant around all exterior openings to prevent water penetration and air leakage in accordance with S.F.B.C.
- General Contractor shall verify with Flood Control Department in Dade County before starting construction.
- If any discrepancies are found, stop working immediately and notify owner or Architect.

SITE INVESTIGATION:

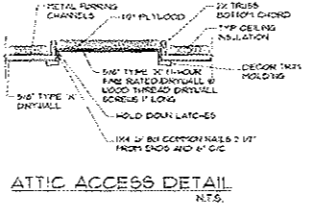
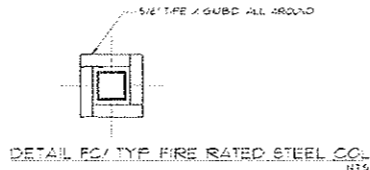
Examination of contract documents and site of work. The bidder is required, before submitting his proposal, to visit the site of the proposed work and familiarize himself with the nature and extent of work and any local conditions that may in any manner affect the work to be done and equipment, materials and labor required therefore. Since the work involves new buildings, systems and facilities, special consideration shall be given to examination of working conditions. New facilities and all building structures to be familiarized with all existing conditions. Significant variations of routing and/or construction should be anticipated by the contractor to avoid conflicts with other trades. These variations are expressly included as part of the work whenever required at no additional cost to the owner. Ignorance on the part of the contractor will in no way relieve him of the obligations and responsibilities assumed under this contract.

GARAGE NOTES:

- PROVIDE DANGER SIGN TO BE POSTED TO READ "DANGER DO NOT OPERATE ENGINE WITH DOOR CLOSED CARBON MONOXIDE EMISION IS LETHAL LETTER TO BE LESS THAN 1/2" HIGH AS PER SECTION 4016 OF S.F.B.C.
- ALL WALLS ENCLOSED GARAGE AREA MUST BE 1 HOUR FIRE RATED AND SHALL BE:
 - 1) 1/2" CONCRETE MASONRY UNIT (CMU) WALL OR
 - 2) 1/2" MIN. PARTITION WALL SHALL CONFORM TO TABLE 13.01.11.11.1 OF THE S.F.B.C. PARTITIONS TO BE 7/8" STUDS 48" O.C. WITH 5/8" TYPE "G" GIBS ATTACHED VERTICALLY OR HORIZONTALLY, TRIMMED WITH 1/2" COULUR, HANDLING MEMBERS NAILS 16" O.C. WITH END JOINTS ON NAILING MEMBERS
 - 3) 1/2" CONCRETE 6" OR 8" 1/2" TYPE "G" GIBS ATTACHED TO 1/2" 1" CONTINUOUS WOOD TRUSSES WITH 1/2" COULUR
 - 4) NAILS 16" O.C. END JOINTS OF WALL BOARDS CENTERED ON TRUSSES OR JOISTS, SPACED 16" O.C. AS PER TABLE 13.01.11.1.1 OF THE S.F.B.C.
- PROVIDE 1" x 6" WOOD JAMBS ATTACHED TO WALLS 6" FROM TOP TO BOTTOM WITH 10" BOLTS 4" O.C. 6" FROM TOP / BOTTOM MAX.
- DOOR FROM GARAGE TO RESIDENCE SHALL BE 1 HOUR FIRE RATED WITH AN AUTOMATIC CLOSER AND SHALL BE INSTALLED IN ACCORDANCE WITH A.S.I. STANDARDS FOR FIRE DOORS AND WINDOWS.
- CLOSED GARAGE SHALL BE PROVIDED WITH FIXED LOUVERS ON SCREENED OPENINGS THROUGH THE EXTERIOR WALLS FOR VENTILATION AT OR NEAR THE FLOOR LEVEL. THE LEVEL EFFECTIVE AREA OF LATCH SHALL BE NOT LESS THAN 60 S.F. IN PROPORTION VEHICLE ACCOMMODATED. THE TOTAL REQUIRED EFFECTIVE AREA SHALL BE LOCATED WITHIN 1" OF THE HIGHEST PART OF THE GARAGE FLOOR.

ARCHITECT'S NOTE

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THE STRUCTURAL DESIGN CONFORMS WITH THE APPLICABLE SECTION OF THE SOUTH FLORIDA BUILDING CODE AND ALL APPLICABLE COUNTY APPLICABLE CODES.
MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.
THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HER EMPLOYEE'S NEGLIGENCE, ACTS, ERRORS, OR OMISSIONS.

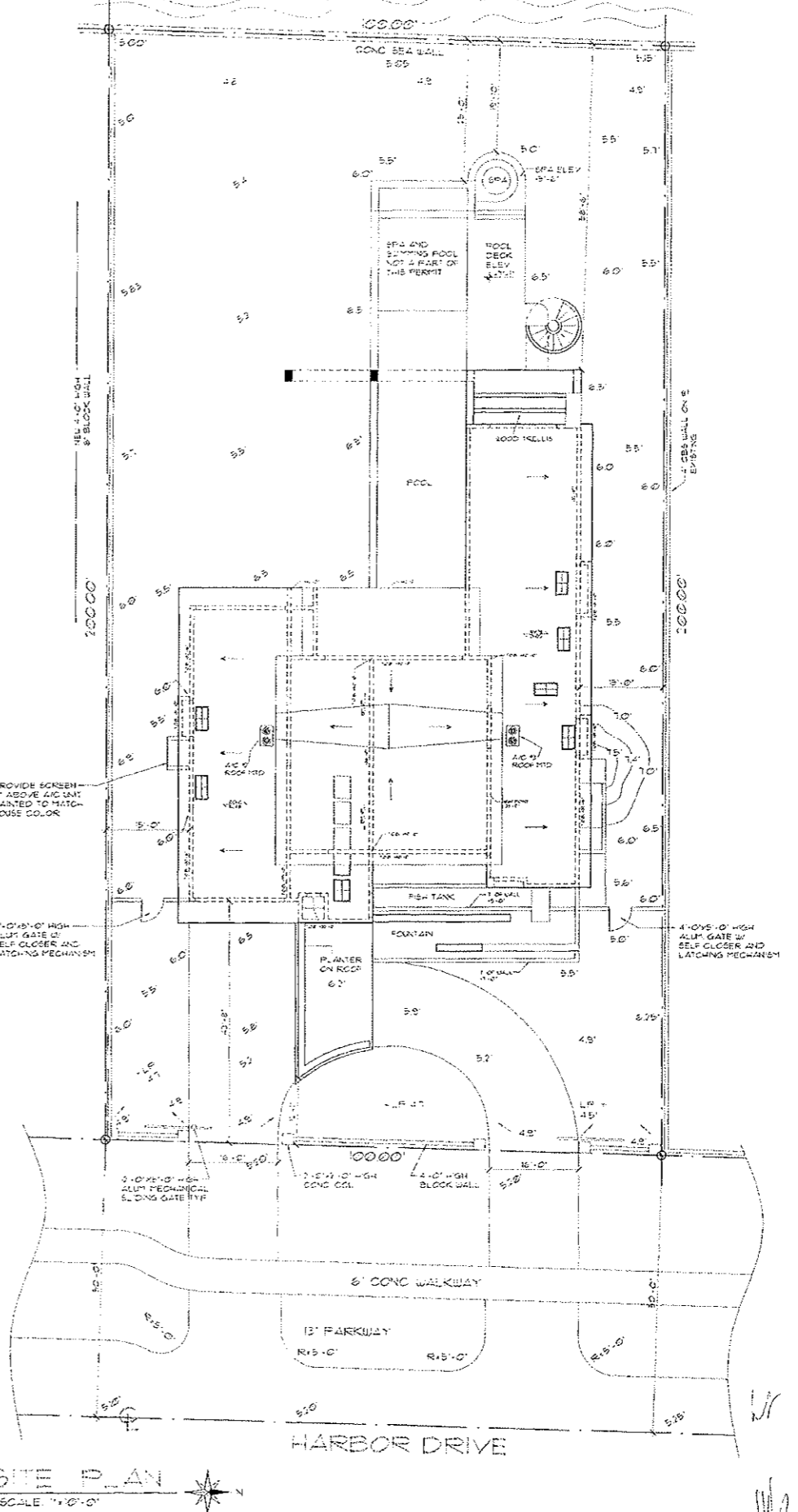
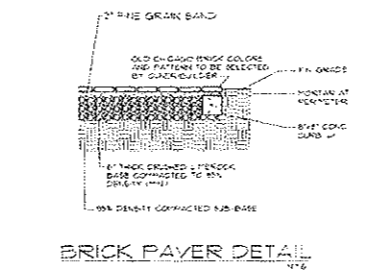
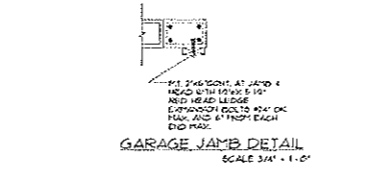
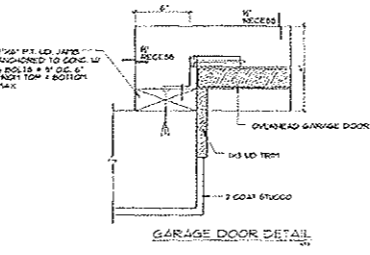


FORMING NOTES:

LOT AREA	+ 10,600 SF
FOOT PRINT FOR PERVIOUS CALCULATIONS	+ 4,553 SF
AC FIRST FLOOR	+ 2,482 SF
AC SECOND FLOOR	+ 3,932 SF
TOTAL AC AREA	+ 6,414 SF
GARAGE AREA	+ 329 SF
SCREENED PORCHES	+ 185 SF
SCREENED PATIO	+ 1,220 SF
TOTAL FINISHED FLOOR	+ 8,149 SF
TOTAL LOT	+ 10,600 SF

SCREENED CALCULATIONS:

LOT AREA	+ 10,600
HOUSE FOOT PRINT FOR PERVIOUS CALCULATIONS	+ 4,553
POOL / POOL DECK	+ 1,761
DRIVEWAY / LAUNDRY	+ 1,207
TOTAL	+ 8,521
TOTAL GREEN AREA	+ 1,179

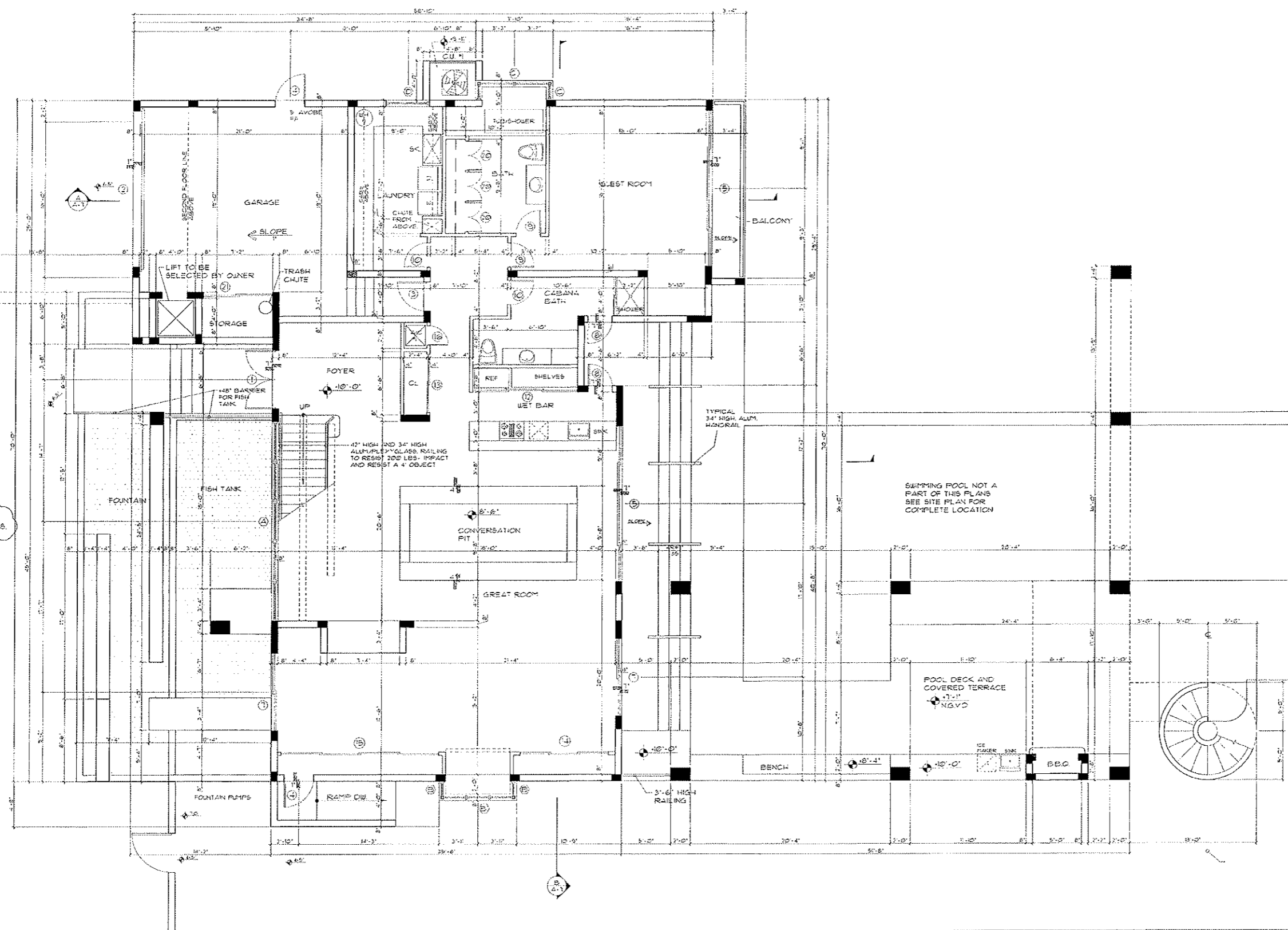


NEW RESIDENCE FOR:
RAIDER INVESTING, INC.
220 HARBOR DR. PH. (305) 965-7768, KETIBSCAYNE, FL

ARCHITECTURE - PLANNING
7344 SW 48 ST. - SUITE 203 - MIAMI FL 33155
GROUP INC. TEL: (305) 663-3350 - FAX: (305) 663-9121 - A.S.C. # 00258

ANGELA GONZALEZ
LICENSED ARCHITECT
MIAMI, FLORIDA 33135

DATE: 12-24-07
SCALE: SECTION
DRAWING:
JOB:
SHEET:
A-1



FISH TANK AND FOUNTAIN NOT A PART OF THESE PLANS. CONTRACTOR SHALL PROVIDE COMPLETE PLANS FOR APPROVAL INCLUDING ALL WATER AND DRAINAGE LINES (LOCATION AND SIZE)

FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"



NEW RESIDENCE FOR:
RANDER INVESTING, INC.
220 HARBOR DR. PH: (305) 965-7768 KEYSISCANEE, FL

ARCHITECTURE - PLANNING.
7344 SW 48 ST. - SUITE 203 - MIAMI FL 33155
GROUP INC TEL: (305) 6883300 - FAX: (305) 6879121 AAC # 002168



MICHELLE DONVALET
LICENSE # 142153
7344 SW 48 ST. SUITE 203
MIAMI FLORIDA 33155

DATE: 12-29-09
SCALE: SEE PLAN
DRAWING:
FOR:
SHEET:
A-2
OF 1 SHEETS

