

# ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-8  
Federal Emergency Management Agency  
National Flood Insurance Program

OMB No. 1660-0008  
Expires February 28, 2009

<b>JOB # 08-17270</b> <u>BOL-05922</u> SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <b>Coastal Home Builders at Key Biscayne II, LLC</b>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>290-292 Fernwood Road</b>		Company NAIC Number
City <b>Key Biscayne</b> State <b>FL</b> ZIP Code <b>33149</b>		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>Lot 6, Block 21, PB 53, Pg 39, Miami-Dade County Records</b>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat 25°41'46"N Long 80°09'52"W <input type="checkbox"/> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>1</u>		
A8. For a building with a crawl space or enclosure(s), provide: a) Square footage of crawl space or enclosure(s) <u>N/A sq ft</u> b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A8.b <u>N/A</u> sq in		A9. For a building with an attached garage, provide: a) Square footage of attached garage <u>N/A</u> sq ft b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A9.b <u>N/A</u> sq in

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <b>City of Key Biscayne 120648</b>		B2. County Name <b>Miami-Dade</b>		B3. State <b>FL</b>	
B4. Map/Panel Number <b>12025C 0281</b>	B5. Suffix <b>J</b>	B6. FIRM Index Date <b>07/17/95</b>	B7. FIRM Panel Effective/Revised Date <b>03/02/94</b>	B8. Flood Zone(s) <b>AE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>10.0' N.G.V.D.</b>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
 Benchmark Utilized V-313 (4.94') Dade Vertical Datum N.G.V.D.29  
 Conversion/Comments \_\_\_\_\_

Check the measurement used.

- |   |       |  |  |
|---|-------|--|--|
| a) Top of bottom floor (including basement, crawl space, or enclosure floor)                                  | 10.76 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |
| b) Top of the next higher floor   | N/A   | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | N/A   | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |
| d) Attached garage (top of slab)  | N/A   | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) | N/A   | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |
| f) Lowest adjacent (finished) grade (LAG)   | 5.9   | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |
| g) Highest adjacent (finished) grade (HAG)  | 6.8   | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters (Puerto Rico only) |

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <b>RENE AIGUESVIVES</b>		License Number <b>4327</b>	
Title: <b>PROFESSIONAL LAND SURVEYOR &amp; MAPPER</b>		Company Name: <b>ALVAREZ, AIGUESVIVES &amp; ASSOCIATES, INC</b>	
Address <b>5701 SW 107th AVENUE, SUITE 206</b>	City <b>MIAMI</b>	State <b>FL</b>	ZIP Code <b>33173</b>
Signature 	Date <b>07/03/08</b>	Telephone <b>(305)385-0385</b>	

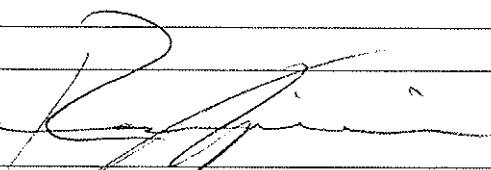
*PSM #4327*  
  
Rene Aiguesvives  
P.L.S.M.F.L Lic. # 4327  
Date: 07/03/08

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 290 Fernwood Road			Policy Number
City Key Biscayne	State FL	ZIP Code 33149	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments  
**CROWN OF ROAD ELEVATION=4.91 FT**

Signature 

Date  
07/03/08

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_ feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_ feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ feet  meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date
Comments	

Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 290 Fernwood Road			For Insurance Company Use
City Key Biscayne			Policy Number
State FL	ZIP Code 33149	Company NAIC Number	

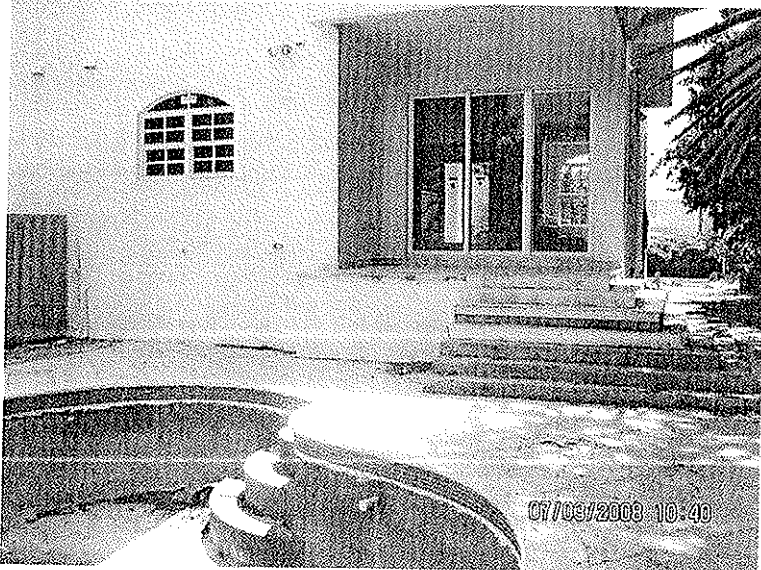
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.

Front View 07/03/08



PA

Rear View 07/03/08



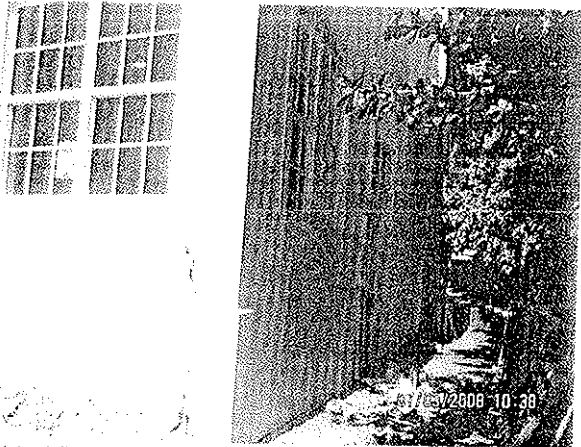
PA

# Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 290 Fernwood Road			For Insurance Company Use:
City Key Biscayne			Policy Number
State FL	ZIP Code 33149	Company NAIC Number	

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."



Side View

Handwritten initials "FAI" in the right margin.

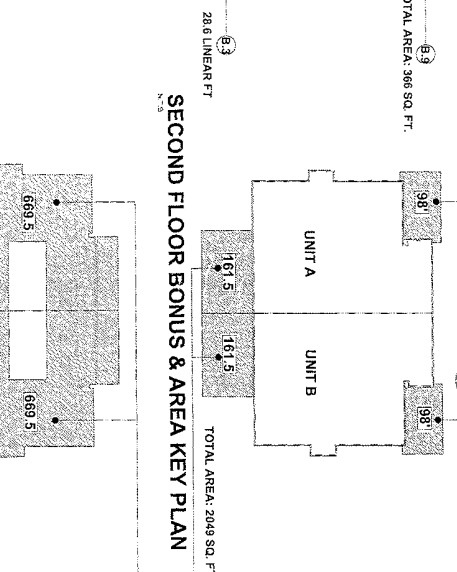
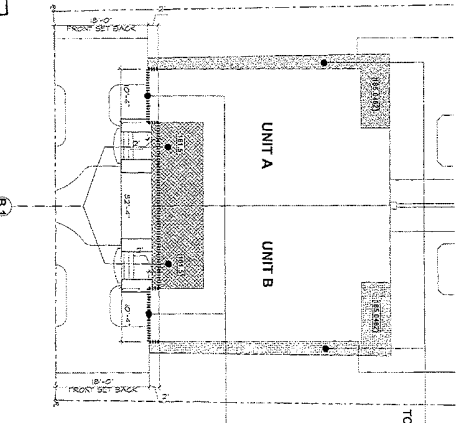
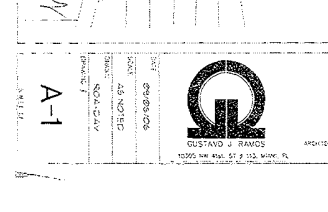
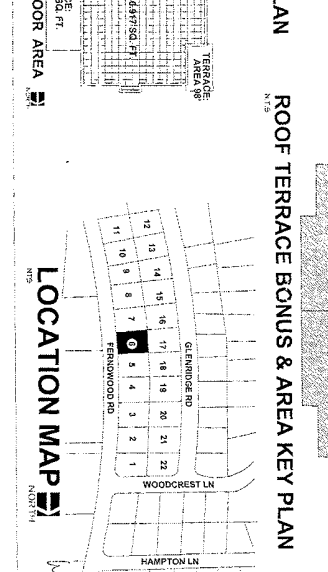
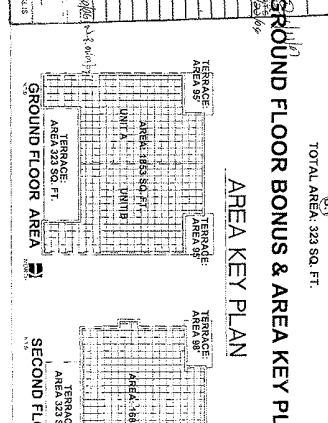
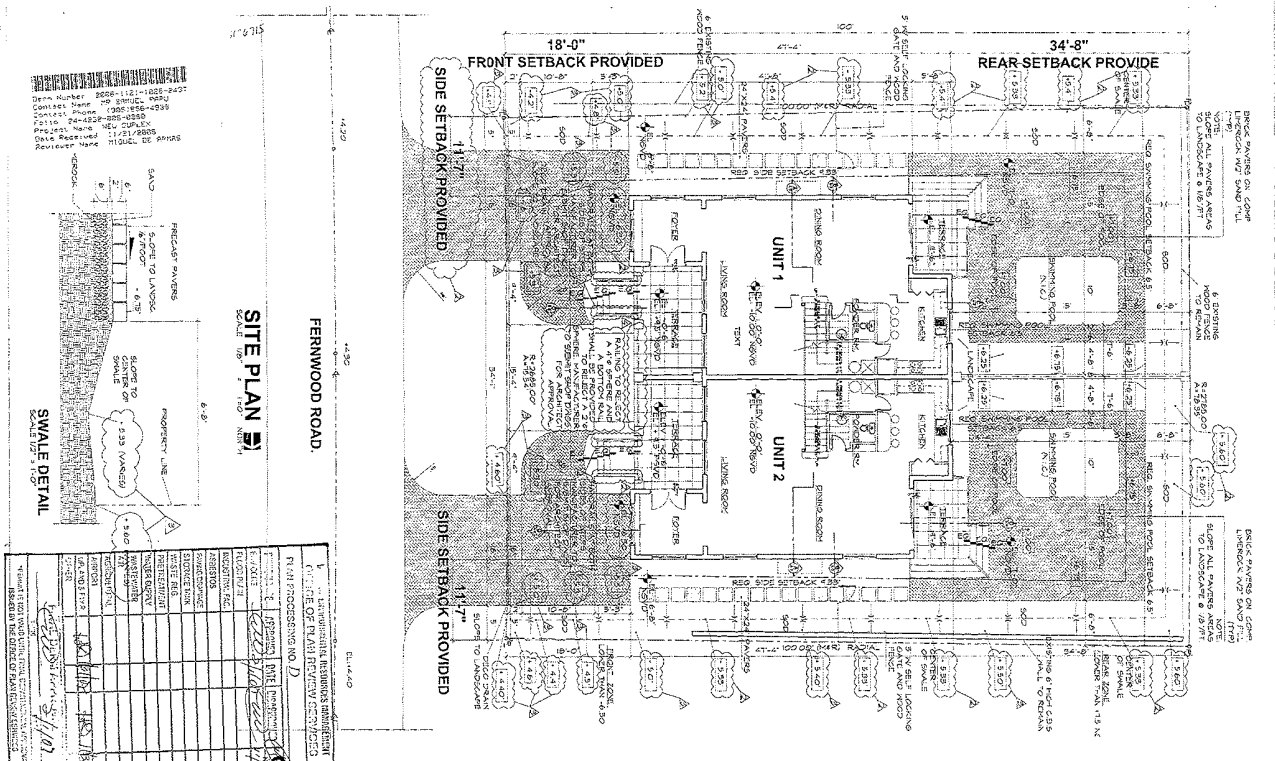


Handwritten initials "FAI" in the right margin.

Add. Rear View



Handwritten initials "FAI" in the right margin.



### BONUS SCHEDULE

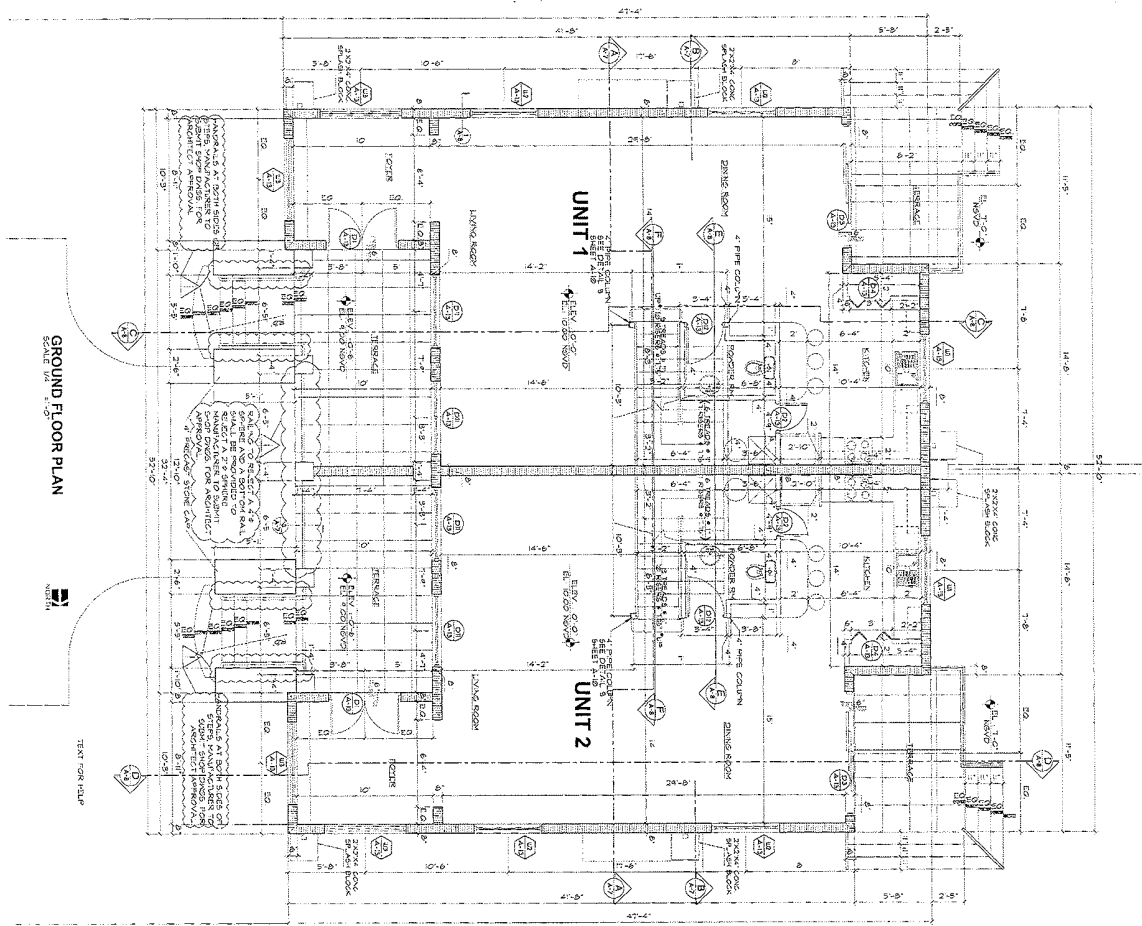
NO.	DESCRIPTION	AMOUNT
1	GROUND FLOOR BONUS	323 SQ. FT.
2	SECOND FLOOR BONUS	286 SQ. FT.
3	ROOF TERRACE BONUS	2049 SQ. FT.
<b>TOTAL BONUS</b>		<b>2658 SQ. FT.</b>

### LEGAL DESCRIPTION

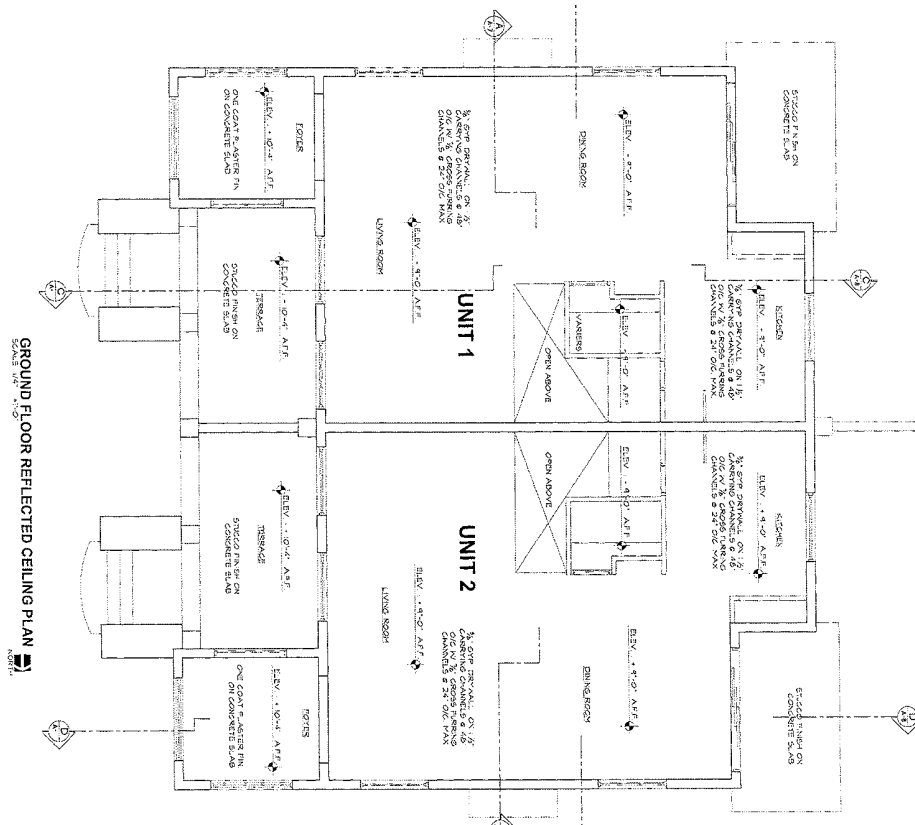
LOT 6, BLOCK 21 OF "FERNWOOD RESIDENCES", A RESUBDIVISION OF "FERNWOOD RESIDENCES", AS RECORDED IN PLAT BOOK 33, AT PAGE 28 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

### ZONING LEGEND

ZONING DISTRICT	PERMITTED USES	REQUIREMENTS
RS-1 (RESIDENTIAL SINGLE-FAMILY)	Single-Family Detached Dwelling	Minimum Lot Area: 5,000 sq. ft.
RS-2 (RESIDENTIAL SINGLE-FAMILY)	Single-Family Detached Dwelling	Minimum Lot Area: 7,500 sq. ft.
RS-3 (RESIDENTIAL SINGLE-FAMILY)	Single-Family Detached Dwelling	Minimum Lot Area: 10,000 sq. ft.



GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"



GROUND FLOOR REFLECTED CEILING PLAN  
SCALE 1/8" = 1'-0"

**PROPOSED FERNWOOD RESIDENCE**

290 FERNWOOD RD. KEY BISCAIYNE - FLORIDA. PH: 305 599 4947

DATE: 02/01/08  
DRAWN: JAS. WOTTS  
CHECKED: SGL/CLW  
ISSUED: 7  
SCALE: 1/8" = 1'-0"



GUSTAVO J. RANDO  
ARCHITECTURE / PLANNING / INTERIORS  
1555 NE 15th St. # 111, Miami, FL  
Phone: 305 599 4847

18/10/08

10/10/08