

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

307-07350

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <u>DECO CONSTRUCTION LLC</u>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>700 CURTISWOOD DRIVE</u> City <u>KEY BISCAIYNE</u> State <u>FL</u> ZIP Code <u>33149</u>		Company NAIC Number
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>LOT 1, BLOCK 12 OF BISCAIYNE KEY ESTATES (P.B. 50 PG. 61) JOB:07-05-35 FOLIO 24-5205-001-1710</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>		
A5. Latitude/Longitude: Lat. <u>25°41'16.2"</u> Long. <u>80°10'14.1"</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>1</u>		
A8. For a building with a crawl space or enclosure(s), provide: a) Square footage of crawl space or enclosure(s) <u>N.A.</u> sq ft b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <u>N.A.</u> c) Total net area of flood openings in A8.b <u>N.A.</u> sq in		A9. For a building with an attached garage, provide: a) Square footage of attached garage <u>414.0</u> sq ft b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>1</u> c) Total net area of flood openings in A9.b <u>484</u> sq in

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>120648 VILLAGE OF KEY BISCAIYNE</u>		B2. County Name <u>MIAMI-DADE</u>	B3. State <u>FL</u>
B4. Map/Panel Number <u>12025C0281</u>	B5. Suffix <u>J</u>	B6. FIRM Index Date <u>07/17/1995</u>	B7. FIRM Panel Effective/Revised Date <u>03/02/1994</u>
B8. Flood Zone(s) <u>AE</u>		B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>10.0</u>	

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
 Benchmark Utilized M1-14 Vertical Datum 1929 N.G.V.D.  
 Conversion/Comments \_\_\_\_\_

Check the measurement used.

a) Top of bottom floor (including basement, crawl space, or enclosure floor),	<u>10.12</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>22.17</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N.A.</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>6.05</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>10.01</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.8</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>10.05</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

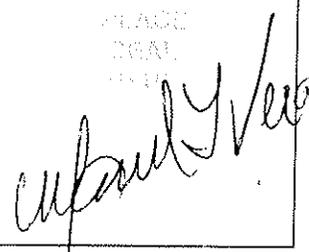
## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>MANUEL G. VERA</u>		License Number <u>2262</u>	
Title <u>PRESIDENT</u>		Company Name <u>M.G.VERA &amp; ASSOCIATES, INC.</u>	
Address <u>13960 SW 47<sup>th</sup> STREET</u>		City <u>MIAMI</u>	State <u>FL</u> ZIP Code <u>33175</u>
Signature <u>Manuel G. Vera</u>	Date <u>11/26/2008</u>	Telephone <u>(305) 221-6210</u>	

PLACE  
SEAL  
HERE



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 700 CURTISWOOD DRIVE	Policy Number
City KEY BISCAYNE State FL ZIP Code 33149	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments -THIS ELEVATION CERTIFICATE HAS BEEN PREPARED ACCORDING TO THE MIAMI-DADE COUNTY DERM ELEVATION CERTIFICATE GUIDELINES.  
 - EQUIPMENT SERVICING BUILDING: AIR CONDITIONING UNIT. - CROWN OF ROAD ELEVATION: 4.30.  
 - THE OPENING AS MARKED IN ITEM A9.b) IS A 22"X22" OPENING AND IS LOCATED ON THE SOUTHERLY SIDE DOOR OF THE GARAGE. THERE ARE NO OTHER OPENINGS ON THE GARAGE WALLS. SEE PICTURES ATTACHED.

Signature *[Handwritten Signature]* Date 11/26/08  Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).  
 a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.  
 b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.

E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8, and G9.

G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 700 CURTISWOOD DRIVE	For Insurance Company Use: Policy Number
City KEY BISCAWAYNE State FL ZIP Code 33149	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.



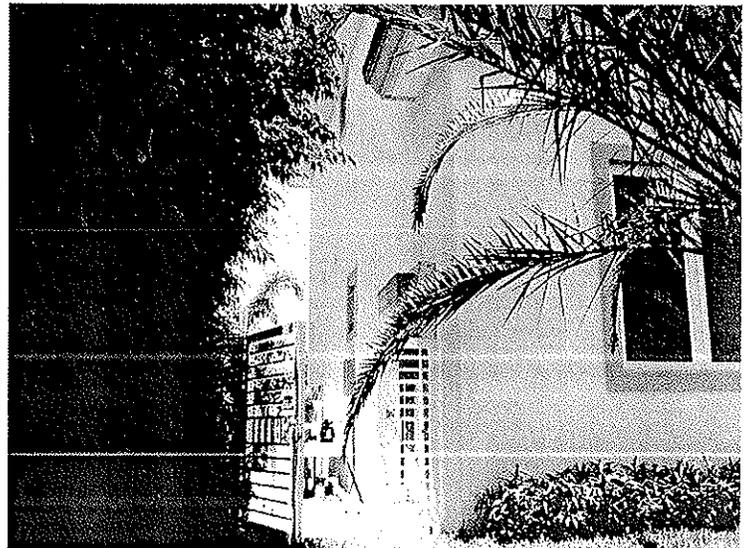
**Date:** 11/26/2008  
**Facing:** FRONT VIEW



**Date:** 11/26/2008  
**Facing:** REAR VIEW



**Date:** 11/26/2008  
**Facing:** RIGHT VIEW



**Date:** 11/26/2008  
**Facing:** LEFT VIEW

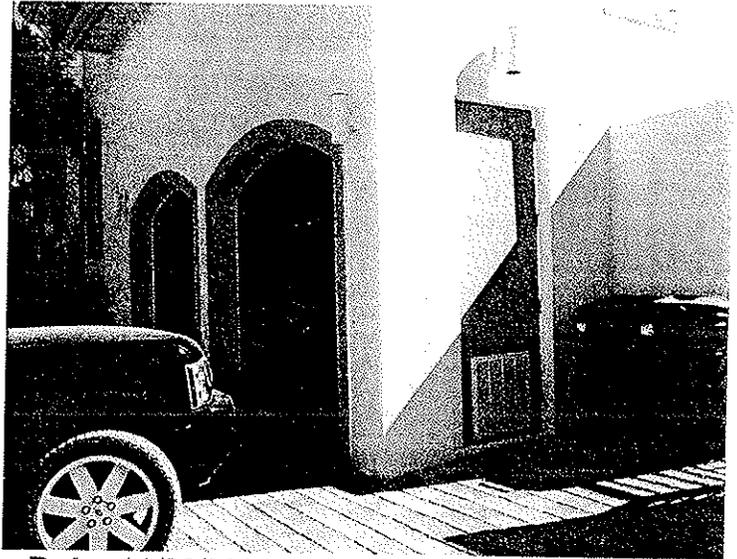
# Building Photographs

Continuation Page

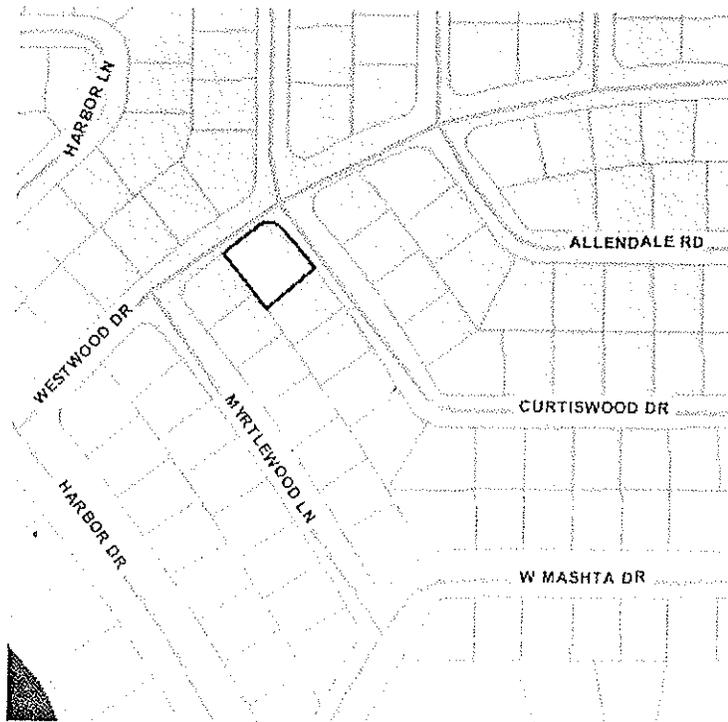
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 700 CURTISWOOD DRIVE	For Insurance Company Use: Policy Number
City KEY BISCAYNE State FL ZIP Code 33149	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	



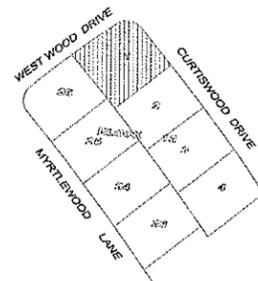
**Date:** 11/26/2008  
**Facing:** GARAGE VIEW



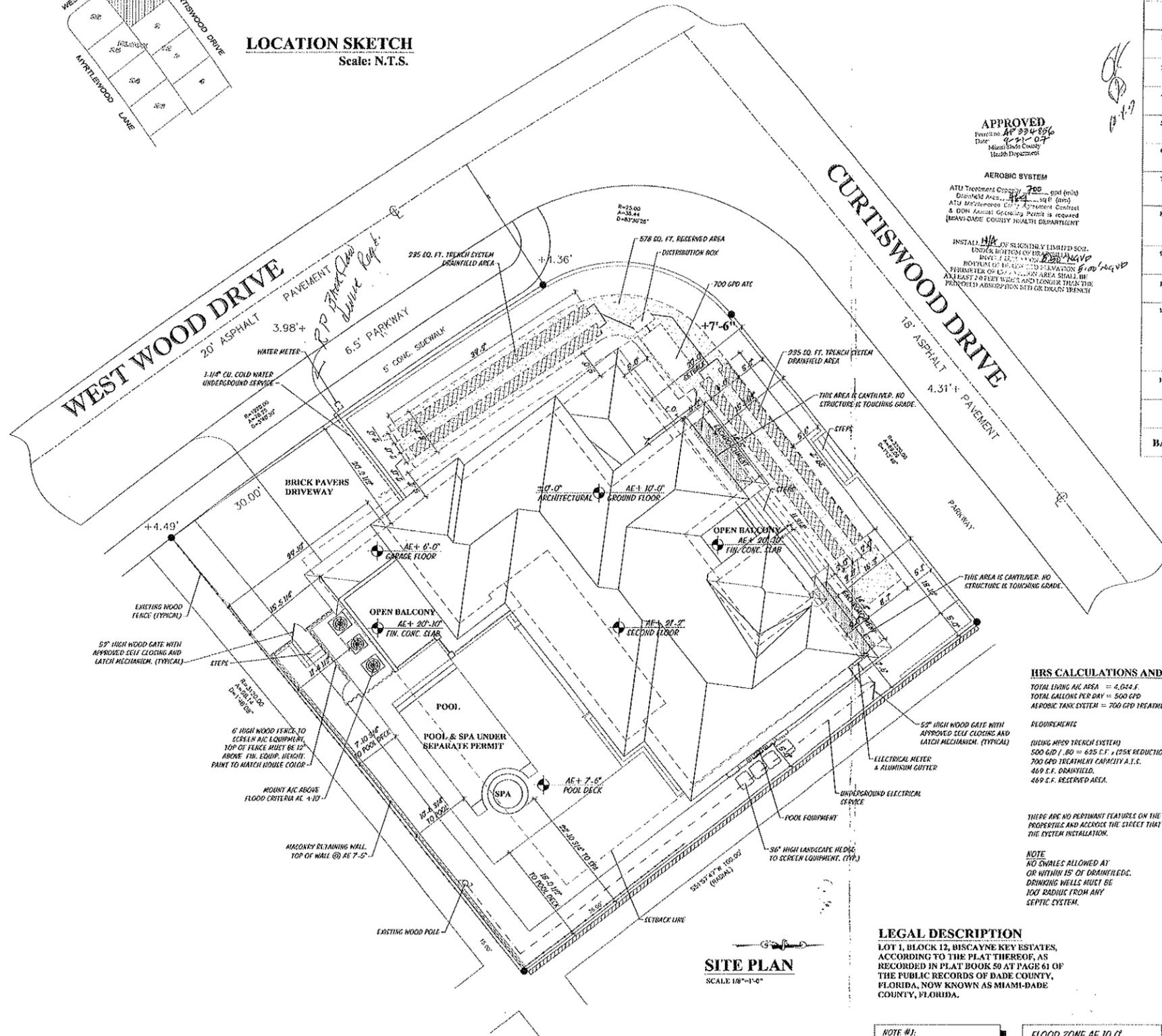
**Date:** 11/26/2008  
**Facing:** GARAGE VIEW



**VICINITY MAP**



**LOCATION SKETCH**  
Scale: N.T.S.



**SITE PLAN**  
SCALE 1/8"=1'-0"

**LEGAL DESCRIPTION**  
LOT 1, BLOCK 12, BISCAYNE KEY ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 50 AT PAGE 61 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA.

**NOTE #1:** SITE MUST BE IN 1/2" OF RAIN WATER  
**NOTE #2:** LANDSCAPE LIGHTING AND IRRIGATION BY OTHERS (SEPARATE PERMIT)  
**NOTE #3:** DRAINAGE OF RAIN WATER AND CONDENSATE MUST BE AT LEAST 12" AWAY FROM THE FOUNDATION.  
**NOTE #4:** SITE MUST SLOPE INWARD, NO DRAINAGE TO OUTSIDE OF PROPERTY ALLOWED. GRAD. FIN. ELEV. 76" N.G.V.D.

**FLOOD ZONE AE 10.0'**  
PANEL # 0281 J  
MAP # 12064810281  
DATE OF MAP: 7-17-95  
INFORMATION OBTAIN FROM: DELTA SURVEYORS (3-30-05)

BONUS POINT CALCULATION				
MARK	CRITERIA	ALLOWABLE F.A.R. INCREASE	BY DESIGN	F.A.R. BONUS
1	Porch facing a street	.0005 per sq. ft. of Floor Area to a max. of .03 FAR increase	59 s.f. x .0005	.0295
2	open and unenclosed balconies located above the first finish floor	.0005 per sq. ft. of Floor Area to a max. of .03 FAR increase	545 s.f. x .0005	.027
3	Building located 15-20 from a front of property line	.001 per linear foot of frontage of a wall that is located 15 - 20 ft. from a front property line. (maximum .03)	20.75 l.f. x .001	.02073
4	Garage or carport containing two or more vehicles parked parallel with an exterior column separating each of the spaces	.03	Not applicable	.03
5	Single Story Home	.03	Not applicable	0
6	Combination One and Two Story Home with the second floor occupying less than 50 percent of the floor area of the first fl.	.10	Not applicable	0
7	Entrances to parking garages: Interior lot: Place in the location that does not face street. Corner lot: entrance in a Side Yard.	.02	Comply	0
8	All windows above the first floor facing on adjacent Building which are five ft. above the finished floor, or if of Building walls along the interior side of a property do not have windows	.01 per side	Interior side	.01
9	Side yard setbacks which: a. Exceeds the required Yard. b. Has a minimum 15 ft. side yard setback	.00005 per each sq. ft. to a maximum of .03	270 SF x .00005	.013
10	Building located within 15-20 ft. of the rear lot line	.001 per linear foot of a wall located 15-20 ft. from the rear property line with a maximum of .03	21.33 X .001	.02
11	VI and VE Distriacts: Structures that provide a front setback of less than 25 ft. which have a roof at least three ft. lower than the roof of the main structure. II and VE Distriacts: Building having a length of at least ten ft. with a Front Yard Setback that exceeds the required 25 ft. setback.	.03	Comply	.03
12	Reduction in Building Height	.006 per foot or fraction thereof with a maximum of .03	4'-2" x 006	.025
<b>TOTAL F.A.R. BONUS INCREASE BY DESIGN = .1877 (MAX. ALLOWED = .170)</b>				
<b>BASE F.A.R. OF .30 (PLUS) MAX. F.A.R. BONUS INCREASE BY DESIGN (0.17) = .47 USE 47% MAXIMUM</b>				

**SITE DATA**  
700 CURTISWOOD DRIVE, KEY BISCAYNE, FLORIDA  
LOT AREA 9437 S.F. (LOT 1, BLK. 12)

**SITE REQUIREMENTS**  
FLOOR AREA RATIO @ 47% 9,437 S.F. x .47 = 4,435 S.F.  
PERVIOUS AREA @ 30% 9,437 S.F. x .30 = 2,831 S.F.  
LOT COVERAGE @ 35% 9,437 S.F. x .35 = 3,303 S.F.  
MAXIMUM BUILDING HEIGHT 35 FT. FROM BFE.  
MAIN BUILDING FRONT SETBACK 20 FT  
MAIN BUILDING REAR SETBACK 25 FT  
MAIN BUILDING INTERIOR SIDE SETBACK (25% OF LOT WIDTH WITH MINIMUM OF 7.5 FT)  
BASE FLOOR ELEVATION AE 10.0 N.G.V.D.

**SIDE YARD SETBACK CALCULATION**  
LOT FRONT SIZE 93'-2"  
REQUIRED 25% OF LOT FRONT SIZE 93'-2" x 25% = 23'-3 1/2"  
PROVIDED SIDE SETBACK INTERIOR SIDE 7'-6" / STREET SIDE 15'-9 1/2"

**CONSTRUCTION DATA**

GROUND FLOOR A/C	2,379 S.F.	TOTAL A/C SF. = 4,444 S.F.
SECOND FLOOR A/C	1,665 S.F.	TOTAL A/C SF. = 4,389 S.F.
SECOND FLOOR A/C AS PER KEY BISCAYNE METHOD	2,010 S.F.	
GARAGE	455 S.F.	
COVERED PORCH	59 S.F.	
GROUND FLOOR COVERED TERRACE	398 S.F.	
SECOND FLOOR COVERED TERRACE	136 S.F.	
SECOND FLOOR OPEN TERRACE	489 S.F.	
POOL DECK	781 S.F.	
POOL & SPA	344 S.F.	
DRIVEWAY	372 S.F.	
WALKWAY	178 S.F.	

**CALCULATIONS**

**FLOOR AREA RATIO**

GROUND FLOOR A/C	2,379 S.F.
SECOND FLOOR A/C	2,010 S.F.
GARAGE AT 10%	46 S.F.
<b>TOTAL</b>	<b>4,435 S.F.</b>

**LOT COVERAGE**

GROUND FLOOR A/C	2,379 S.F.
GARAGE	455 S.F.
COVERED PORCH	59 S.F.
GROUND FLOOR COVERED TERRACE	398 S.F.
<b>TOTAL</b>	<b>3,291 S.F.</b>

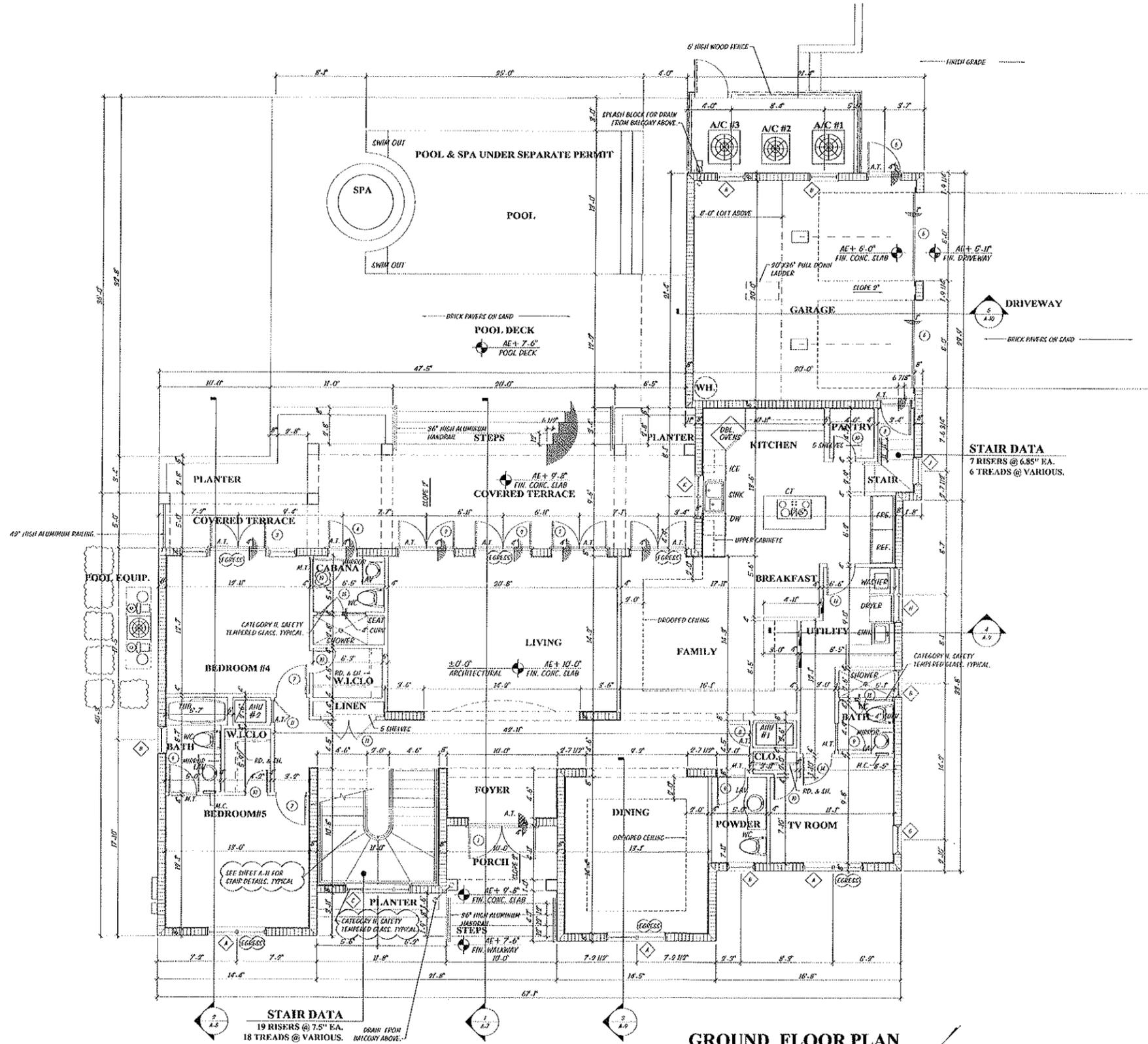
**IMPERVIOUS AREA**

GROUND FLOOR A/C	2,379 S.F.
GARAGE	455 S.F.
COVERED PORCH	59 S.F.
GROUND FLOOR COVERED TERRACE	398 S.F.
POOL DECK	781 S.F.
POOL & SPA	344 S.F.
DRIVEWAY	372 S.F.
WALKWAY	178 S.F.
<b>TOTAL</b>	<b>4,966 S.F.</b>

(LOT AREA - IMPERVIOUS AREA = PERVIOUS AREA)  
9,437 S.F. - 4,966 S.F. = 4,471 S.F. GREATER THAN 2,831 S.F. MINIMUM REQUIRED

**ROBERT WADE AND ASSOCIATES, P.A.**  
PLANNERS  
ARCHITECTS  
RESIDENCE FOR DECO CONSTRUCTION  
700 CURTISWOOD DRIVE  
KEY BISCAYNE  
FLORIDA

DATE: 09-17-07  
SHEET: A-1 OF 1



**GROUND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE  
PROVIDE ENGINEERED SHIP DRAWINGS FOR:  
RAISES  
REVISIONS  
POLES  
LOW VOLTAGE SYSTEM

PROVIDE AT ALL INTERIOR PARTITIONS R-13 BATT INSULATION BETWEEN STUDS.

1. ALL WINDOW SILL AT SECOND FLOOR MUST BE 3/4" HIGH ARCH FINISH FLOOR. IF LOWER FLOORING 4/8" HIGH GROUND FINISH IN THE INSIDE FACE OF EACH WINDOW.
2. ALL EXTERIOR DOORS AND WINDOWS MUST BE METRIC. CASES IF OTHERWISE PROVIDE SEAKHOUSE ALUMINUM DIVISIONS, HORIZONTAL, DOORS AND SHIFTERS MUST HAVE THEIR COUNTY APPROVED PRODUCT CONTROL APPROVAL.
3. ALL EXTERIOR FINISHES MUST BE AS NOTED FOR FINISH. PROVIDE METRIC PROJECT 1/2" SLOPE. PROVIDE ENGINEERED SHIP DRAWINGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION.

**SYMBOL LEGEND**

ALU	ALUMINUM
C.T.	COOK TOP
DW	DISHWASHER
DSL	DOUBLE
INT.	INSIDE
A.T.	ALUMINUM THRESHOLD
M.C.	MARBLE THRESHOLD
LAV.	LAVATORY
W.C.	WALK-IN CLOSET
A.H.U.	AIR HANDLER UNIT
U.	UNIT



**ROBERT WADE AND ASSOCIATES, P.A.**  
**PLANNERS**  
ARCHITECTS  
700 CURTISSWOOD DRIVE  
KEY BISCAYNE, FLORIDA 33131  
PHONE (305) 371-2832 FAX (305) 381-5852  
MEAL# A-20080875

RESIDENCE FOR  
**DECO CONSTRUCTION**  
700 CURTISSWOOD DRIVE  
FLORIDA

KEY BISCAYNE

**REVISIONS**

NO.	DESCRIPTION	DATE

DATE: 08-28-07  
SHEET: A-2  
OF: 2

OCT 3-0-2007