

ELEVATION CERTIFICATE

OMB No. 1660-0008
 Expires February 28, 2009

Important: Read the instructions on pages 1-8.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 772 RIDGEWOOD ROAD		Company NAIC Number
City KEY BISCAIYNE State FL ZIP Code 33149		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 13, Block 14, BISCAIYNE KEY ESTATES, PB 50, PG 61, Folio No. 24-5205-001-2270		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>25 41'14.56" N</u> Long. <u>080 10'03.17" W</u>		Horizontal Datum: <input checked="" type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>8</u>		
A8. For a building with a crawl space or enclosure(s), provide		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s)	<u>1910</u> sq ft	a) Square footage of attached garage <u>400</u> sq ft
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade	<u>10</u>	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>8</u>
c) Total net area of flood openings in A8.b	<u>5760</u> sq in	c) Total net area of flood openings in A9.b <u>400</u> sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Key Biscayne 120648		B2. County Name Miami-Dade County		B3. State Florida	
B4. Map/Panel Number 12025C0281	B5. Suffix J	B6. FIRM Index Date 7-17-95	B7. FIRM Panel Effective/Revised Date 03-02-94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 10'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations -- Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
 Benchmark Utilized KB-MI-14
 Vertical Datum N.G.V.D
 Conversion/Comments _____

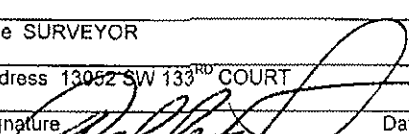
Check the measurement used.

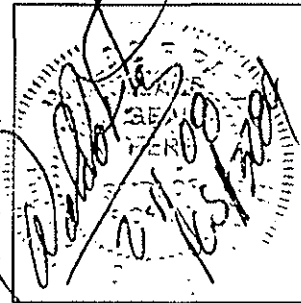
- | | | |
|---|------------------|---|
| a) Top of bottom floor (including basement, crawl space, or enclosure floor) | <u>+10.30</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| b) Top of the next higher floor | <u>+21.80</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| d) Attached garage (top of slab) | <u>+6.17</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) | <u>A/C 10.30</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| f) Lowest adjacent (finished) grade (LAG) | <u>+6.00</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| g) Highest adjacent (finished) grade (HAG) | <u>+5.90</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <u>WALDO F. PAEZ</u>	License Number <u>3284</u>
Title <u>SURVEYOR</u>	Company Name <u>DELTA SURVEYORS, INC.</u>
Address <u>13052 SW 133RD COURT</u>	City <u>MIAMI</u> State <u>FL</u> ZIP Code <u>33186</u>
Signature 	Date <u>02-11-08</u> Telephone <u>305-253-0909</u>

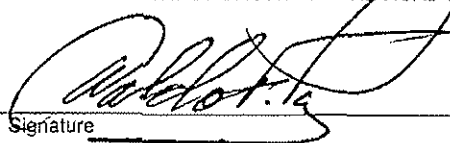


IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 772 RIDGEWOOD ROAD	Policy Number
City KEY BISCAYNE State FL ZIP Code 33149	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments HIGHEST CROWN OF THE ROAD ELEVATION = +3.92'

Signature 

Date 02-11-08

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawl space, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

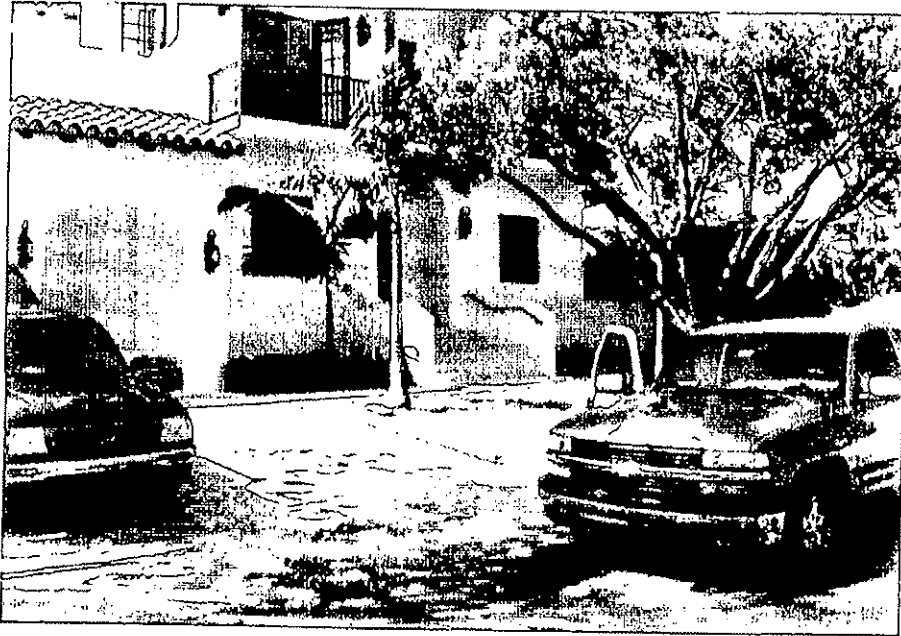
Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

Building Photographs

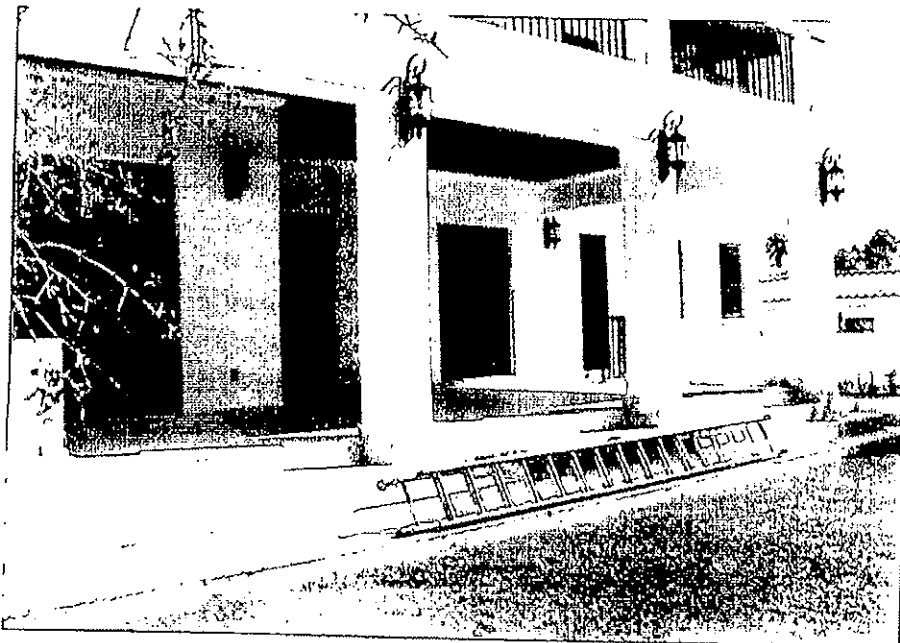
Continuation Page

08-0099

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 772 RIDGEWOOD	For Insurance Company Use: Policy Number
City State ZIP Code Key Biscayne FL 33149	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	



Front
2-11-08



Rear
2-11-08

11:44:06
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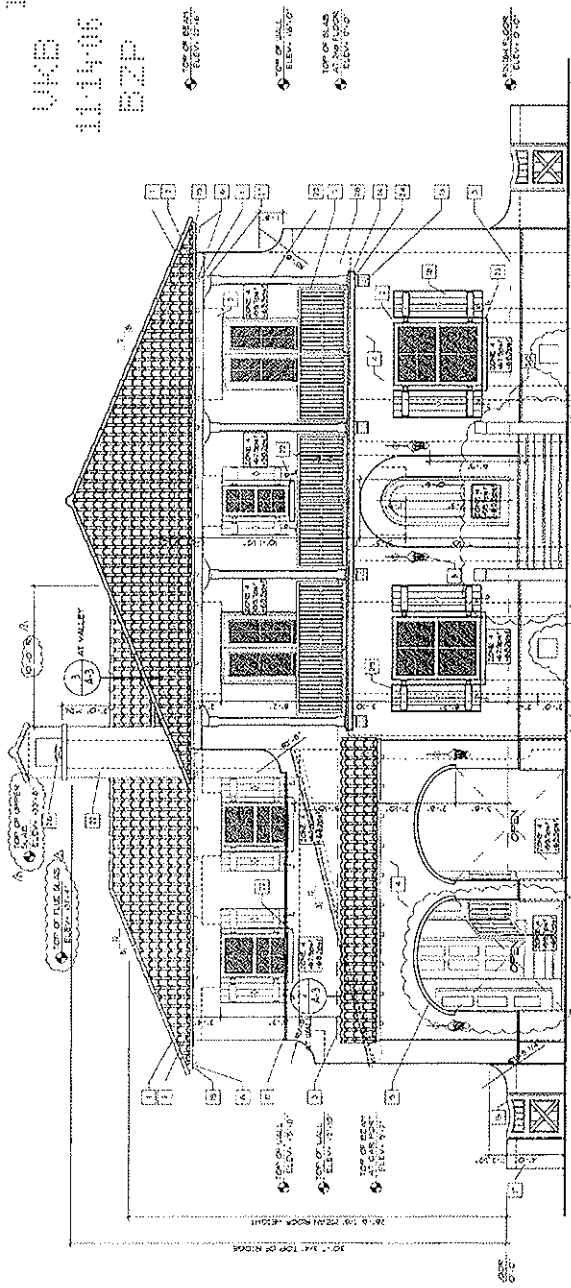
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7	11/11/11	RS
8	11/11/11	RS
9	11/11/11	RS
10	11/11/11	RS

SOTOLONGO ARCHITECTS
 10630 NORTHWEST 27TH STREET
 DORAL, FLORIDA 33172
 TELEPHONE: (305) 593-9798
 FAX: (305) 593-0096
 CORP. LICENSE #AC0000975

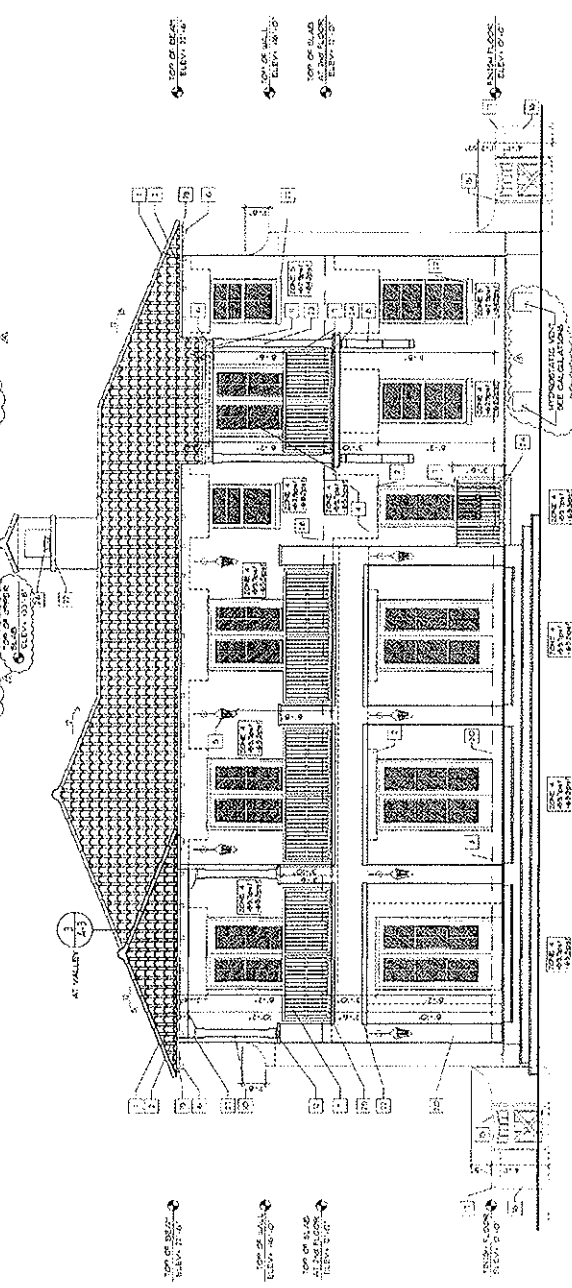
BINHAK RESIDENCE
 772 RIDGEWOOD ROAD
 VILLAGE OF KEY BISCAYNE, FLORIDA

SCALE: 1/4" = 1'-0"
 DESIGNED BY: RS
 DRAWN BY:
 DATE: 06/23/09
 JOB: 0930
 SHEET: A-4
 OF: 4
 SHEETS

NOV 1 2011
 RAUL K. SOTOLONGO
 REG. NO. 1111



FRONT ELEVATION



REAR ELEVATION

- ELEVATION KEY NOTES:**
1. FINISH TO ROOF TILE
 2. FINISH TO CONCRETE SLAB (REFER TO STRUCTURAL DRAWING)
 3. FINISH TO SMOOTH FINISH STUCCO
 4. FINISH TO SMOOTH FINISH STUCCO
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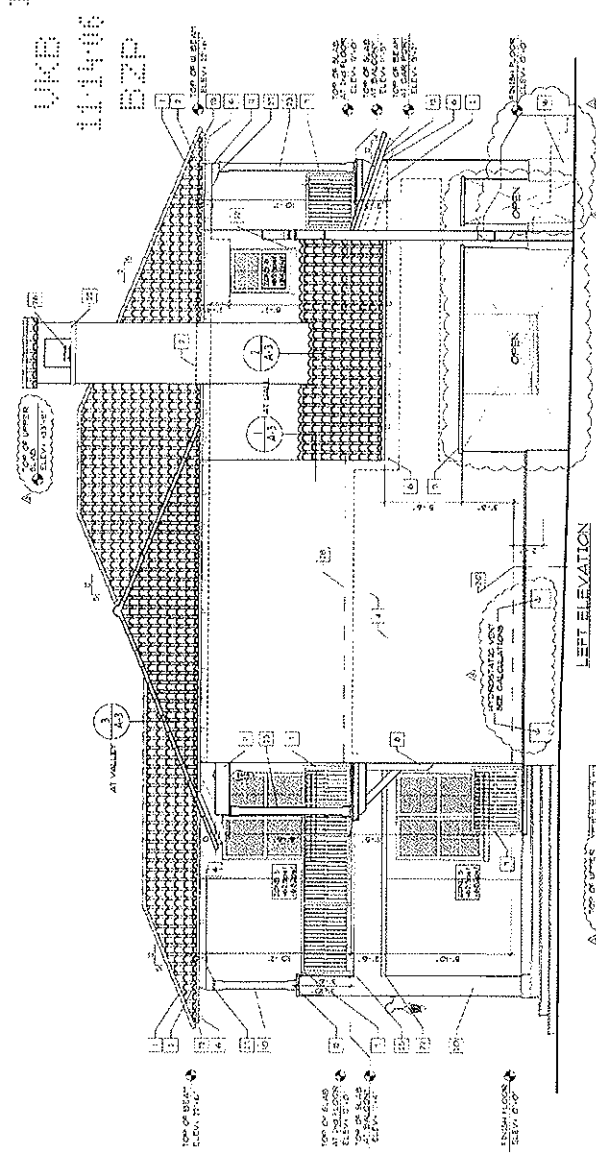
Handwritten notes:
 11/11/11
 11/11/11
 11/11/11

SOTOLONGO ARCHITECTS
 10630 NORTHWEST 27TH STREET
 DORAL, FLORIDA 33172
 TELEPHONE: (305) 593-9788
 FAX: (305) 593-0096
 CORP. LICENSE AAC000975

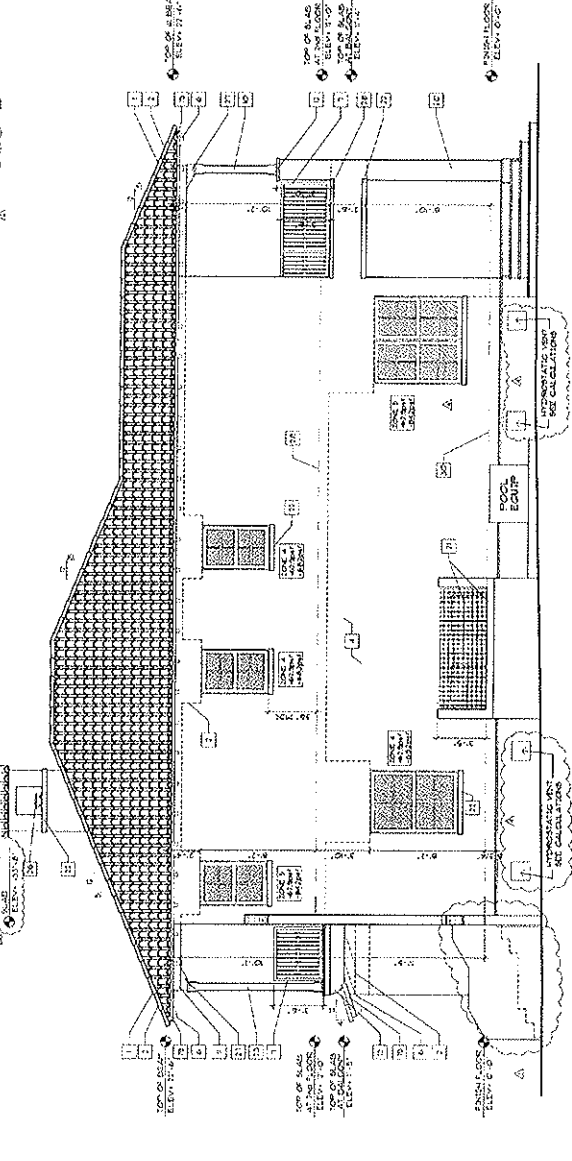
BINAK RESIDENCE
 112 RIDGEWOOD ROAD
 VILLAGE OF KEY BISCAYNE, FLORIDA

SCALE: 1/2" = 1'-0"
 CHECKED BY: RJS
 DRAWN BY: [blank]
 DATE: 06/23/05
 JOB: 0430
 SHEET: A-5 OF 22

DATE: 6/23/05
 PROJECT: 112 RIDGEWOOD ROAD
 SHEET: A-5 OF 22

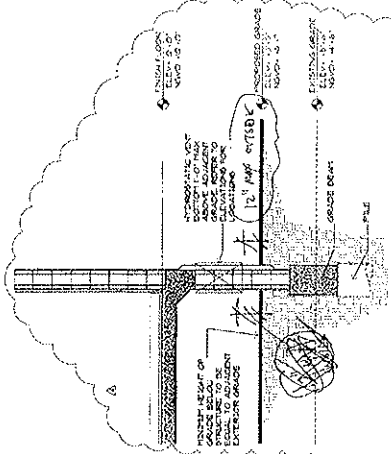


LEFT ELEVATION



RIGHT ELEVATION

Handwritten notes:
 11/11/05
 11/11/05



RAISE FIRST FLOOR SLAB W/ GRADE SPACE
 SCALE 1/2" = 1'-0"

HYDROSTATIC VENTILATION CALCULATION
 IN FLOOR WITH GRADE SPACE BELOW = 882 SQUARE FEET
 VENT AREA WITH 1" CLEARANCE = 1.0 SQUARE INCH PER SQUARE FOOT
 NUMBER OF VENTS REQUIRED = 1 TO MINIMUM
 SEE ELEVATION FOR LOCATION

HYDROSTATIC VENTS TO BE ALIGNED WITH MESH SCREEN ON INTERIOR SIDE, MINIMUM 1/2" CLEARANCE INCH OF CLEAR OPENING. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

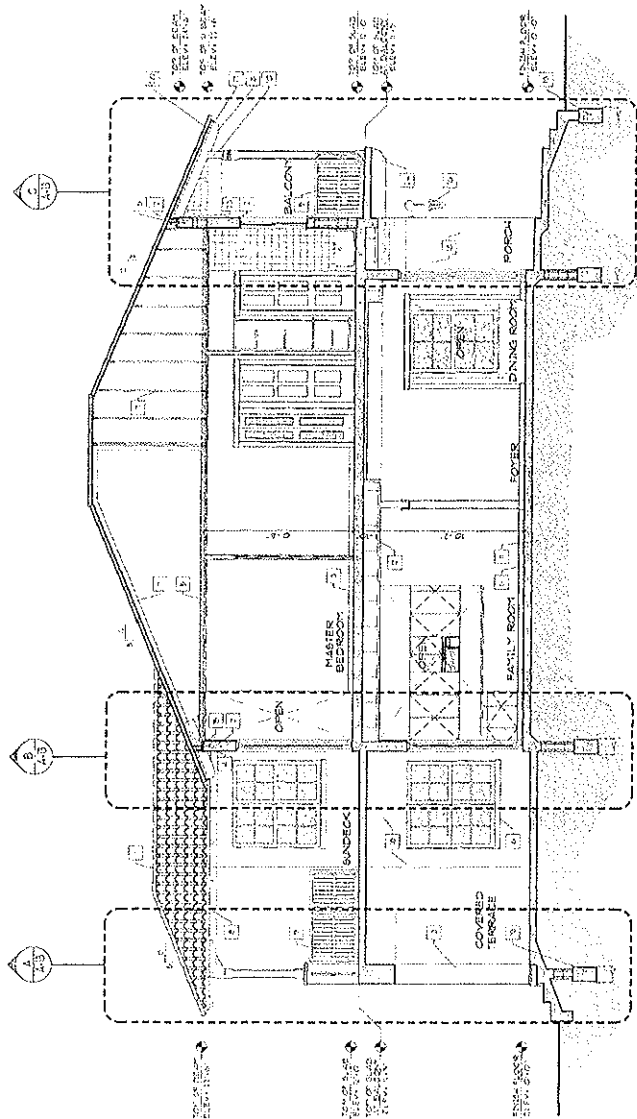
BINHAK RESIDENCE
 172 RIDGEWOOD ROAD
 VILLAGE OF KEY BISCAWNE, FLORIDA

SOTOLONGO ARCHITECTS
 10630 NORTHWEST 27TH STREET
 CORAL GABLES, FLORIDA 33172
 TELEPHONE: (305) 593-9798
 FAX: (305) 593-0098
 CORP. LICENSE MC0009976

NO.	DATE	BY	REVISIONS

SCALE 1/4" = 1'-0"
 CHECKED BY: GP
 DRAWN BY: GP
 DATE: 06/13/09
 JOB: C-130
 SHEET: A-7
 TOTAL SHEETS: 7

PAUL P. SOTOLONGO
 REGIST. N. ARCH. 1112



BUILDING SECTION 1/4"

- SECTION KEY NOTES:**
- SPANISH TILE ROOF
 - CONCRETE SLAB (REFER TO ELEVATIONS)
 - WOOD SHAKES (REFER TO ELEVATIONS)
 - STEEL COLUMN (REFER TO ELEVATIONS)
 - STEEL RAFTERS (REFER TO ELEVATIONS)
 - PREPARE WOOD TRIMMER 3/4" O.C. MAX.
 - AT HIGH TYPICAL MATERIALS W/ PRODUCTS TO SELECT A 4"
 - CONCRETE FOUNDATION TO SUBMIT SHOP DRAWINGS FOR ARCHITECTS
 - WOOD BEAM
 - CONCRETE SOIL (REFER TO STRUCTURAL DIAGS)
 - MASONRY COLUMN (REFER TO STRUCTURAL DIAGS)
 - BASE BOARD BRICK AND STUCCO AT EA. WALLS
 - EXTERIOR GRADE 4" PORTLAND CEMENT FLOOR 4" AFF
 - GALVANIZED METAL DECK
 - CONCRETE FOOTING (SEE STRUCTURAL DIAGS)
 - 1" x 6" T&G
 - STEEL COLUMN (SQUARE) W/ WOOD TO REMOVBLE 8" O.D. WOOD
 - WOOD SHAKES (REFER TO ELEVATIONS)
 - WOOD SHAKES (REFER TO ELEVATIONS)
 - WOOD SHAKES (REFER TO ELEVATIONS)

SOFFIT VENT CALCULATIONS

NO.	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
AREA	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
PERCENT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
TOTAL	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

11

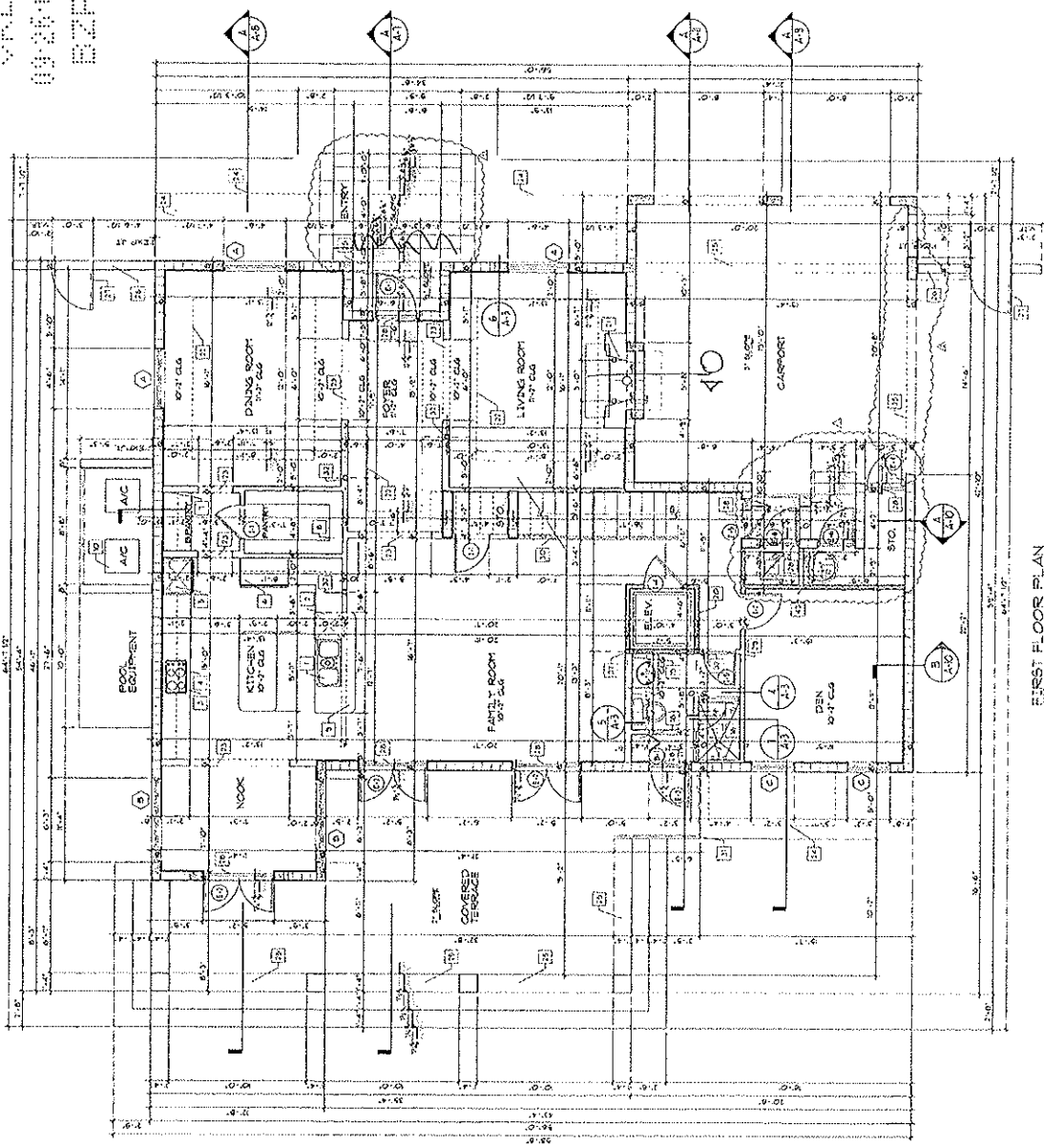
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002605
R2P

SOTOLOGNO ARCHITECTS
10630 NORTHWEST 27TH STREET
DORAL, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE AXC000975

BINHAK RESIDENCE
172 RIDGEWOOD ROAD
VILLAGE OF KEY BISCAYNE, FLORIDA

SCALE	1/4" = 1'-0"
DESIGNED BY	
DRAWN BY	
DATE	06/23/05
PROJECT	C-330
SHEET	A-1
OF	
SHEETS	

9/16/2005
PAUL P. SOTOLOGNO
REGISTERED ARCHITECT



FIRST FLOOR PLAN

- FLOOR PLAN KEYNOTES:**
1. TRIPLE RINK WITH GARAGE DISPOSAL.
 2. DISHWASHER.
 3. INTERIOR LIGHT FIXTURES.
 4. INTERIOR LIGHT FIXTURES.
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 39. INTERIOR LIGHT FIXTURES.
 40. INTERIOR LIGHT FIXTURES.

AREA SUMMARY

AIR FIRST FLOOR	1708 SF
AIR SECOND FLOOR	13713 SF
TOTAL AIR AREA	15421 SF
ENTRANCE	71 SF
COVERED TERRACE	475 SF
CARPORT	4260 SF
FRONT BALCONY	1303 SF
MASTER BR. BALCONY	415 SF
BEDROOM X BALCONY	38 SF
STORAGE	66 SF
TOTAL AREA	23663 SF



VILLAGE OF KEY BISCAYNE

Department of Building, Zoning and Planning

Village Council

Robert L. Vernon, Mayor
Jorge E. Mendia, Vice Mayor
Michael Davey
Enrique Garcia
Steve Liedman
Thomas Thornton
Patricia Weinman

Director

Jud Kurlancheek, AICP

Chief Building Official
Eugenio M. Santiago, P.E.

Certificate of Occupancy

Certificate #: CO08032601
Issue Date: 3/26/2008
Building Permit #: B05-05022
Job Site Address: 772 Ridgewood Road **Folio #:** 24-52050012270
Ownership: Stephen & Ilise Binhak
Proposed Use: Single Family Residence
Scope of Work: New Construction

<u>Final Inspection Type</u>	<u>Permit Number</u>	<u>Inspection Date</u>	<u>Inspector</u>
FINAL BUILDING:	B05-05022	03/19/08	J. GARCELL
FINAL ROOF:	B07-07181	10/09/07	J. GARCELL
FINAL POOL/SPA:	B08-07414	03/19/08	J. GARCELL
FINAL ELECTRICAL:	E07-02628	03/13/08	E. GUZMAN
FINAL BURGLAR ALARM:	E07-02864	03/14/08	E. GUZMAN
FINAL MECHANICAL:	M07-02165	03/05/08	C. LINDGREN
FINAL FIREPLACE:	M07-02224	08/29/07	C. LINDGREN
FINAL PLUMBING:	P07-04158	03/13/08	C. LINDGREN
FINAL SEPTIC TANK:	P07-04461	03/18/08	C. LINDGREN
FINAL IRRIGATION SYSTEM:	P08-04612	03/12/08	C. LINDGREN
FINAL GAS:	P07-04407	03/05/08	C. LINDGREN
FINAL PUBLIC WORKS:	PW08-00432	03/19/08	A. NUNEZ
FINAL ZONING:		03/25/08	W. FEHR
FINAL CODE ENFORCEMENT:		03/26/08	S. BONICH

SUPERVISORY VARIANCE #: SV08-03
(South side yard setback walkway)

Please be advised that all final inspections on the above referenced structure have been completed in accordance with the South Florida Building Code. Accordingly, the structure may be occupied for its intended use.

Jud Kurlancheek, AICP, Director
Building, Zoning & Planning Department

Eugenio M. Santiago, P.E.
Building Official